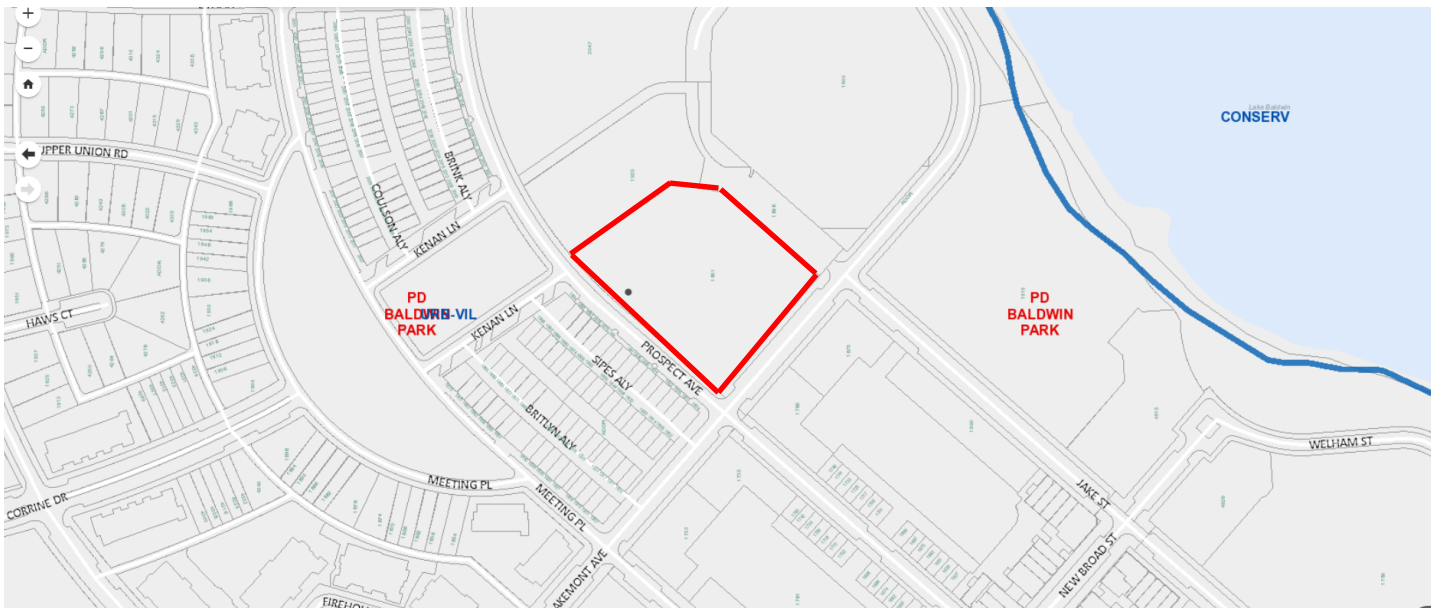


September 23, 2021  
Staff Report to the Baldwin Park  
Town Review Design Committee

CASE #MPL2021-10046  
Item #4

## GABLES MULTI-FAMILY DEVELOPMENT MASTER PLAN



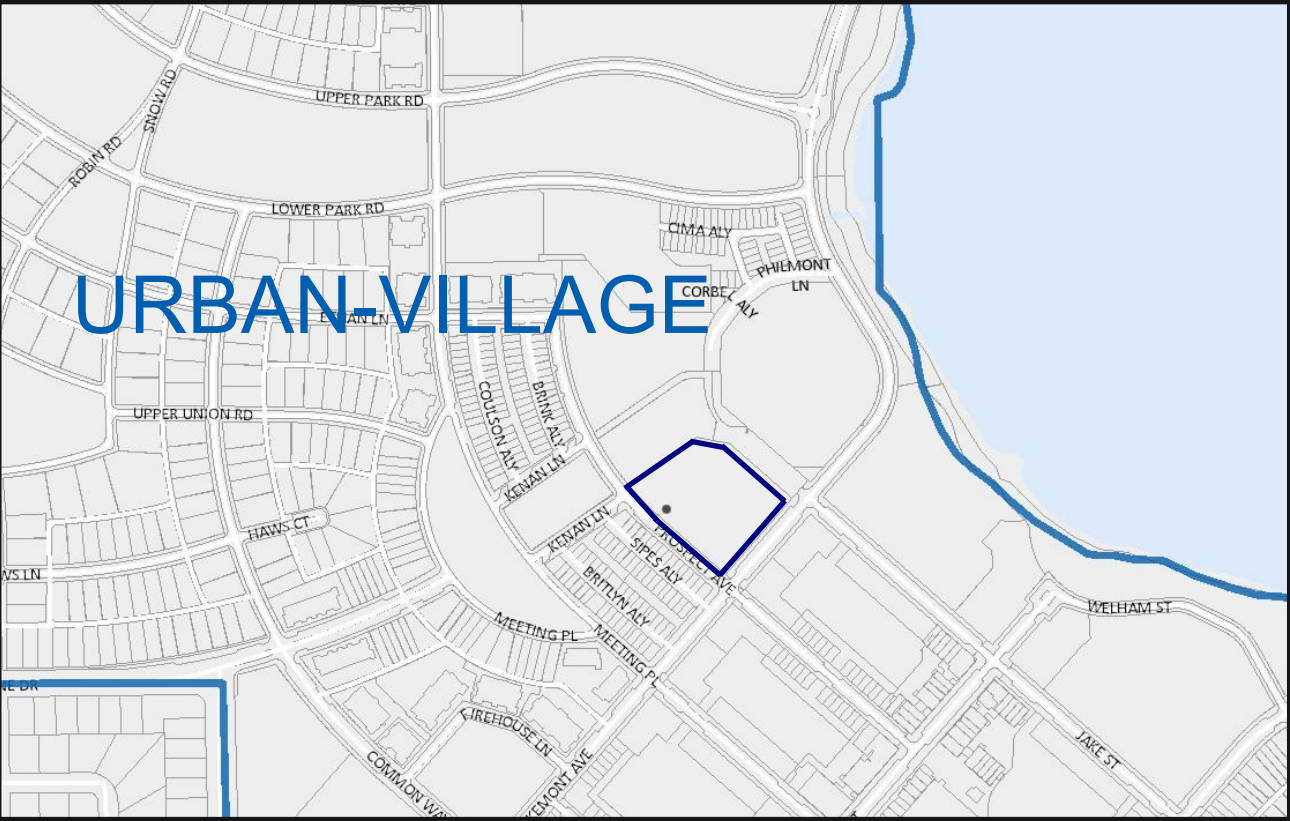
### Location Map

Subject Site

### SUMMARY

<p><b>Owner</b> Fair winds Credit Union (Contract Purchaser: Gables Residential)</p> <p><b>Applicant</b> Meghan Dietz Baker Barrios Architects</p> <p><b>Project Planner</b> Richard Forbes, AIA Baldwin Park Town Plan- ner</p> <p><b>Updated:</b> September 16, 2021</p>	<p><b>Property Location:</b> 1801 Prospect Ave., located at the corner of Prospect Avenue and Lakemont Avenue. PID: 17-22-30-0523- 06-140 (2.48 acres, District 3).</p> <p><b>Applicant's Request:</b> Master Plan for an 5-story 230 unit multi- family development. The applicant is also seeking a non-substantial amendment to the Baldwin Park PD to accommodate the pro- posed development (ZON2021-10016).</p> <p><b>Staff's Recommendation:</b> Approval of the request subject to the condi- tions in the staff report.</p>	<p><b>Public Comment</b> The applicant's submittal and notice of the Baldwin Park TDRC meeting were posted on the City of Orlando's Baldwin Park website on ?. This staff report was posted to the City's Baldwin Park website approximately one week prior to the BPTDRC meeting and was also provided to the Baldwin Park Resi- dential Owners Association (ROA) via e-mail.</p> <p>As of the published date of this report staff has not received any public comment.</p>
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# Future Land Use Map

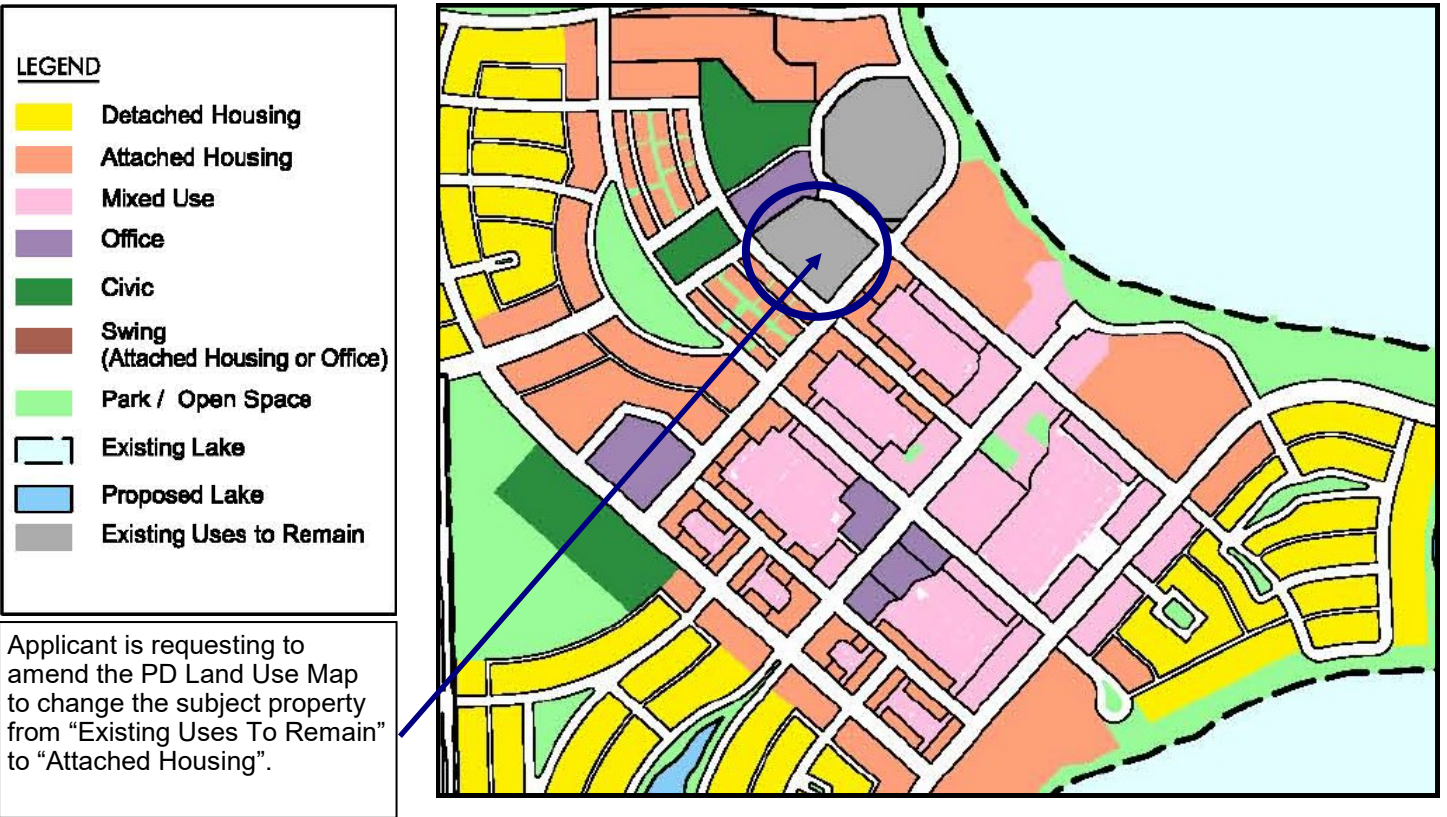


# Zoning Map

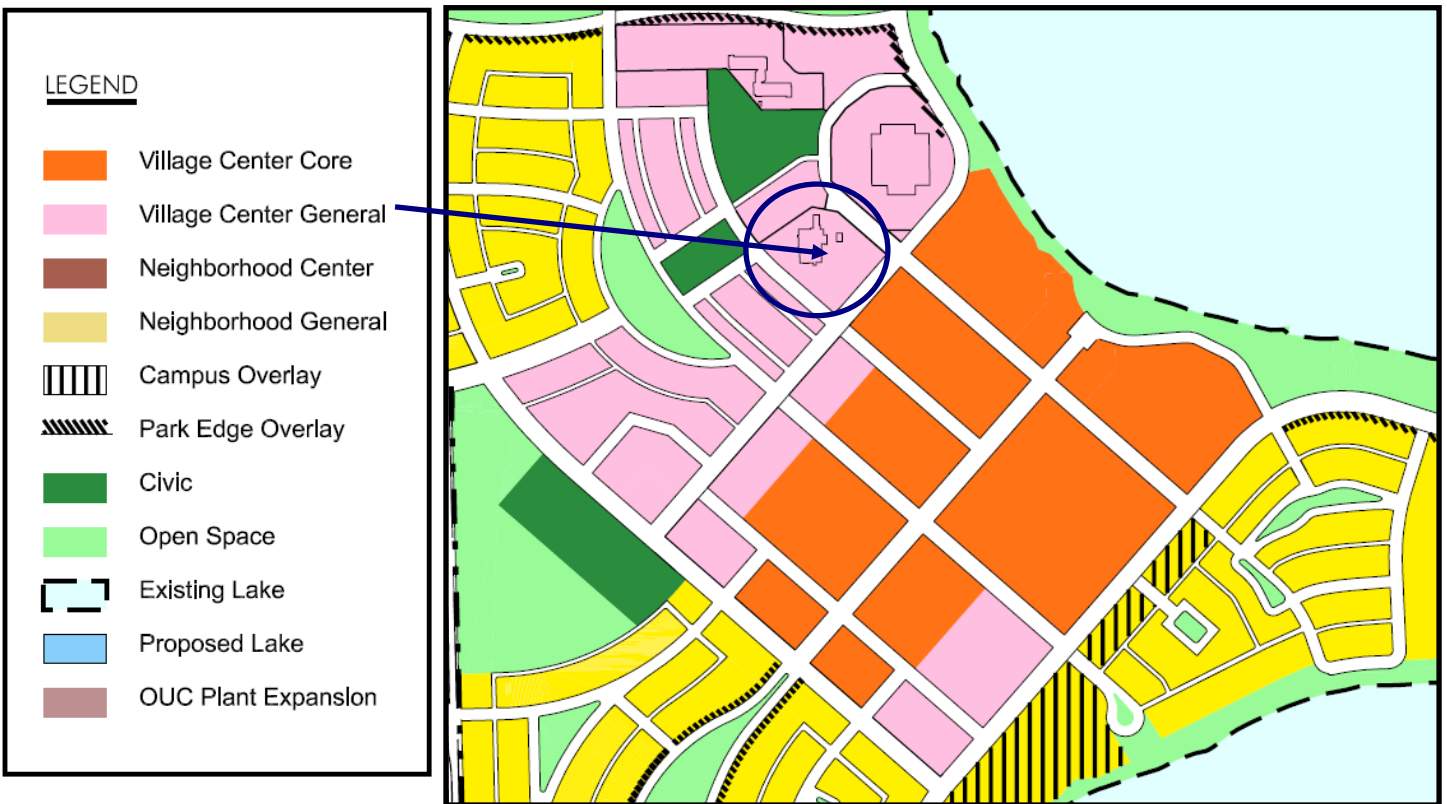




# PD Land Use Map



# PD Regulatory Map



# Project Analysis

## Project Description

The applicant has applied for Specific Parcel Master Plan approval for a 5-story, 230-unit multi-family building on a 2.48 acre property that was previously developed with the Fairwinds Credit Union building. The existing building (built in 1978) will be demolished as part of the proposed development. The property is Baldwin Park Unit 3, lot 614, and is surrounded by Lakemont Avenue to the south, Prospect Avenue to the west and Jake Street to the north. The proposed single, full lot/block building has a structured parking garage that is internal to the building and not visible. A courtyard in the north portion contains the amenities. The services and general garage and loading entrances are located on Jake Street.

The applicant provided the following project description:

*Gables Residential proposes a new residential project in Baldwin Park Planned Development in the City of Orlando. The project site is bounded by Prospect Avenue on its southwest, Lakemont Avenue on its southeast, and Jake Street on its northeast. The proposed project contains 230 residential units and associated residential amenity and leasing spaces. The building will be a total of 5 stories with the eave between 52'-0" to 53'-6". Sloped architectural roof features extend to 68'-6" feet at highest ridge. Parking will be provided in an integrated parking garage containing 369 parking spaces. The parking garage will terminate at the roof level of the residential building and will be hidden from view by wrapped units and parapet roofs.*

In order to accommodate the proposed development, Non-Substantial Amendments to the Baldwin Park PD are required (see companion case ZON2021-10016);

1. Update the PD Land Use Plan Map to reclassify the subject property from "Existing Uses To Remain" to "Attached Housing".
2. Revise the PD Land Use Program/Entitlement Summary to: a) convert the existing 11,090 square feet of office space (the former Fairwinds Credit Union building) to 17 dwelling units; b) allocate the remaining "Total Unallocated Capacity" of 81 residential units to the subject site; and c) convert 86,262 square feet of office space from the Office Medium Intensity and Industrial/Office land use category to 132 residential units. This combination of allocation and conversion yields a total of 230 residential units.

## Previous Actions:

- Baldwin Park PD Ordinance was adopted on July 27, 1998.
- On December 15, 2000, the Baldwin Park Town Design Review Committee (TDRC) approved the Infrastructure Master Plan (MPL 2000-00001).
- On March 22, 2001, the TDRC approved the Westside Neighborhoods Master Plan (MPL2000-00031).
- On April 26, 2001, the TDRC approved the Landscape Master Plan (MPL 2001-00005).
- December 13, 2003, Plat recorded— Baldwin Park Unit 3 (SUB2002-00052).

## Project Context

The property has a future land use of Urban-Village and is zoned PD (Baldwin Park Planned Development). The Land Use Map contained in the PD currently calls out the property as "Existing Uses to Remain" and the applicant is seeking to amend the map to designate the property as "Attached Housing". The Regulatory Map within the PD designates the subject property as Village Center General and is part of the Westside Neighborhoods Master Plan. The property is surrounded by a mix of uses including multi-family residential to the west and south, office and parking to the north, and government office to the east. Additional details on surrounding properties can be found in Table 1 below.

**Table 1—Project Context**

	Future Land Use	Zoning	Surrounding Use
North	URBAN-VILLAGE	Planned Development (Baldwin park PD)	Office and parking
East			Government office use
South			Residential 3-4 Stories
West			Residential 3 Stories



**Development Standards:**

The applicant has submitted an application requesting a Specific Parcel Master Plan for Lot 614 within the Village Center Master Plan. The applicant is seeking to amend the PD Land Use Plan to designate the Subject Property as “Attached Housing”. The currently adopted Regulatory Plan designates the site “Village Center General”. The proposed Development Standards and Setbacks for the site shall be consistent with the Village Center Master Plan, and in accordance with the Village Center General development standards in the PD.

Lot/Building Site Sizes: (Development block should be divided into smaller building sites, where possible. Max. width: building site can extend up to full block, but to the greatest extent possible, single buildings should not exceed 200'.) Lot 614 is 399.42 ft. long at its greatest extent (along Prospect Avenue). The lot is 304 feet on Lakemont Avenue. The applicant is proposing to build a single building that fills the entire lot minus the setbacks which is allowed by the PD but not encouraged. The building design includes recesses and projections including balcony projections and ground level unit entrances. The maximum ISR for this site is 85%.

Building Height: (Minimum height is 2 story, Maximum 5) The Village Center General requires a minimum building height of 2 stories with a maximum height of 5 stories but does not include any regulations for maximum height in feet. As proposed the applicant is seeking to build 5 fully-occupiable floors. The site gradient causes the first floor living level to be approximately 9 feet above the level of the sidewalk at the corner of Lakemont and Jake and while there are only 5 occupiable levels, the building has the mass of a 6 story building at this location. The height of the building is noted to be 58'-6" with the highest roof ridge at 68'-6" not including any grade changes. The PD defines Story as “That portion of a building included between the surface of any finished floor and the surface of the next finished floor above it, or if there be no floor above it, then the space between such floor and ceiling next above it, unless such space is less than 5.5 feet in height. Wherever the height between two finished floors (or finished floor and ceiling) exceeds 25 feet, each height of 15 feet or portion greater than 5.5 feet thereof shall construed to be a story.” So technically by the definition the foundation area below the living level does not count as a story. The massing and scale is affected by the grade change as the roof height at the corner of Lakemont and Jake would be approximately 77'-6" above the sidewalk.

Setbacks: The PD requires a 6-12-foot setback/build-to line; 0-foot minimum side setback; 0-foot rear setback; and 5-foot minimum setback from the street R.O.W. for all parking lots. As the main street, Lakemont St. is considered the front of the building for the purposes of setbacks. A minimum of 80% of all facades on the block facing Lakemont and Prospect streets (VC-3, 4) should conform to the build-to line. The building is proposed to be set back 12 feet on Prospect and Lakemont and 6 feet on Jake Street and meets the build-to line requirements.

Building Frontage: (A minimum of 80% of block width must be building frontage.) As noted above, both New Broad St. as well Meeting Pl. are designated as commercial streets. As such both frontages must meet the building frontage requirements across the block face. The proposed building design is set back at 12 feet along Lakemont and Prospect and occupies the full block and meets the minimum building frontage requirements. The development standards require that “all buildings shall have their principal pedestrian entrance facing the street” and a majority of the ground floor units have direct pedestrian access to the street. The principal pedestrian entrances are not apparent or clearly demarcated by the design.

**Design Guidelines and Architectural Standards**

The Baldwin Park PD contains architectural standards within the Village Center General Area Development Standards, design standards in Appendix D (Attached Housing Residential Guidelines), and in Appendix F (General Architectural Standards). Landscape standards are found in Appendix G.

Building Placement and Orientation: The building fronts onto the surrounding streets of Prospect Avenue, Lakemont Avenue and Jake Street. The majority of the ground floor units have direct access to the sidewalk and semi public terrace space. The amenity area of the building is located on the 5 floor facing Jake Street and will have a view of the lake. The building shows the majority of the ground floor units have direct access to the sidewalk and semi private space which gives the building more the appearance of townhouses. The building does not show or highlight main entrances that would be used by pedestrian residents or pedestrians looking for the leasing office. The leasing office is shown adjacent to Jake Street and the loading entrance and the doors shown on the that façade lead to the loading area. The building facades on Jake Street need significant design work as it is unclear how this area will function or how it will appear. There is a significant grade change from the northwest corner of the site to the southeast corner of the site at Lakemont and Jake of 10 feet. The building, as designed, has a level floor plate which results in the first living level at the southeast corner being 8'-10" above the sidewalk. Retaining walls and planters have been designed in such a way to provide a more pedestrian scale with the first wall being 3'-10" high which is in keeping with the retaining walls adjacent to the sidewalk at Baldwin Harbor at the corner of Lakemont and Jake. The walls then step up in 2'-6" increments. The materials and design expression of these walls and planters are critical to providing a foundation to the building and mitigating the height of the first living floor along Prospect and Lakemont Avenues, especially at the corner of Lakemont and Jake. The materials should include stone or brick rather than stucco alone.

**Building Expression, Style and Building Details:** There are guidelines in the Baldwin Park PD that address attached housing as well as Architectural Standards for the Village Center General Area and applicable guidelines should be met. The building is divided into vertical bays that help to reduce the overall mass of the building and break down the long length of the facades and provide individual unit expression. There are stacked porches that extend forward of the building with individual roof structures that also help to provide rhythm and interest to the building and begin to give the building texture and scale. The applicant has chosen to design the project in the Craftsman Style and staff has met numerous times to discuss the specifics of the style and much progress has been made from the initial proposed design. The elevations provided in the application are schematic in nature and there still remain a number of style and detail items to be addressed including but not limited to window style, window proportion, window pane proportion, mullion size, muntin pattern, shutter use, bracket size and design, pent roofs, roof forms, gable end style, and consistent use of material and color. The Town Planner will continue to review the elevations with the applicant to review proportions, appropriate style details, and material choice and detailing prior to submittal to Permitting.

**Utilities:** All utilities are required to be screened from view, and not located between the building and the street. Loading areas are also required to be screened from view. The existing transformer facing Prospect Avenue must remain screened or new screening provided. Where such areas are located within a building, but accessed adjacent to the street, decorative screen doors or similar must be installed to screen these areas when not in use. Such doors must be painted to blend into the façade and not detract from the overall architecture of the building.

### **Landscape Standards and Street Trees**

All landscaping for the site must meet the General Landscaping Standards (Appendix G in the PD) and be approved by the Town Planner. The streetscape along Lakemont should mirror the streetscape on the opposite side of the street. All other existing street trees must be protected during construction, and replaced if any damage should occur. Additional comments regarding the site grade changes and retaining walls and planter are above in the building placement and orientation section.

### **Transportation**

The proposed multi-family development will be bounded by Prospect Ave. to the SW, Lakemont Ave. on the SE, an Orlando Urban District owned driveway to the NE and a privately owned property to the NW. The applicant is proposing to utilize the existing street network to provide access to the project site and are proposing a single entry to the parking garage off the driveway on the NE side of the site with a pull through service/loading zone also located off the driveway. While there is a clear desire by both staff and the applicant to minimize the views of parking and vehicular use areas within the Baldwin Park PD, a secondary access point is required to support the number of proposed units. Given the site layout, topography and desire to minimize the impact of the second curbcut staff recommends that the second access point be placed along Prospect Ave.

While the Baldwin Park PD does not contain minimum or maximum parking standards, the City uses the Land Development Code as a guideline in reviewing all applications to ensure adequate parking will be provided for the proposed project. Using typically multi-family parking requirements of CH61 of the LDC, the project would require a minimum of 366 parking spaces, the applicant is proposing to provide 369 on-site spaces. These parking spaces will be provided internal to the building in a parking garage wrapped with living units and will not be visible from the ROW.

### **Signage**

The application does not include any signs for the project. This site is subject to the Village Center Master Sign Plan, however, residential signage is not included in that package. For all other residential projects within Baldwin Park, the Traditional City Sign Standards (64.228) apply, as well as the Multi-Family Identification standards (64.257), which allows up to 18 s.f. of identification signage per façade. Ground mounted monument signs are not permitted in Baldwin Park. This project is residential with no commercial component and a master sign plan will not be required. Signage will require additional staff review.

### **Infrastructure**

#### **Stormwater:**

The site is part of the Baldwin Park master storm water plan. The maximum ISR according to the Baldwin Park Village Center General Design Standards is 85%.

#### **Solid Waste:**

The applicant is proposing to place a solid waste receptacle inside the building which will be served by a refuse vehicle. Solid Waste has indicated approval of the conceptual plan with the requirement that recycling is incorporated. The applicant is recommended to reach out to the Solid Waste Division as soon as possible to discuss the servicing of this building as designed.

Environmental

There are no environmental areas within the site.

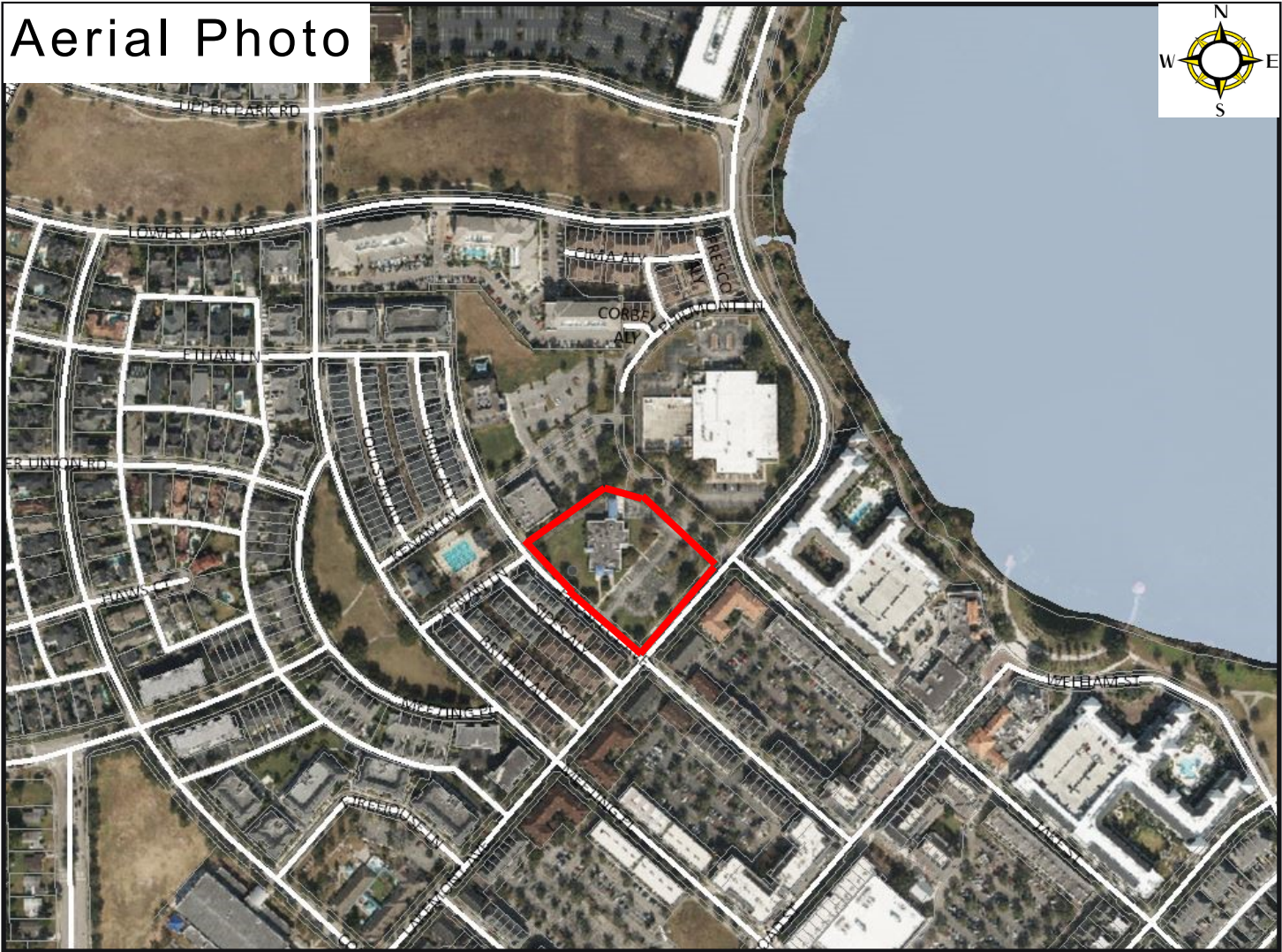
**School Impacts**

The School Impacts analysis is located in the companion report ZON2021-10016.



# Site Photos

## Aerial Photo



 Subject Site



## Site Photos



View of W Corner of Lakemont and Jake



View of site on Lakemont



View Looking west on Lakemont across from site



## Site Photos



View of Corner of Lakemont and Prospect



View of site looking east on Lakemont from corner of Prospect



View of Prospect across from site



## Site Photos



View of corner of Prospect and driveway to existing credit union building



View looking south on Prospect with site on left



View of parking lot to the north of the site



## Site Photos



View of Corner of Lakemont and Jake showing Baldwin Harbor

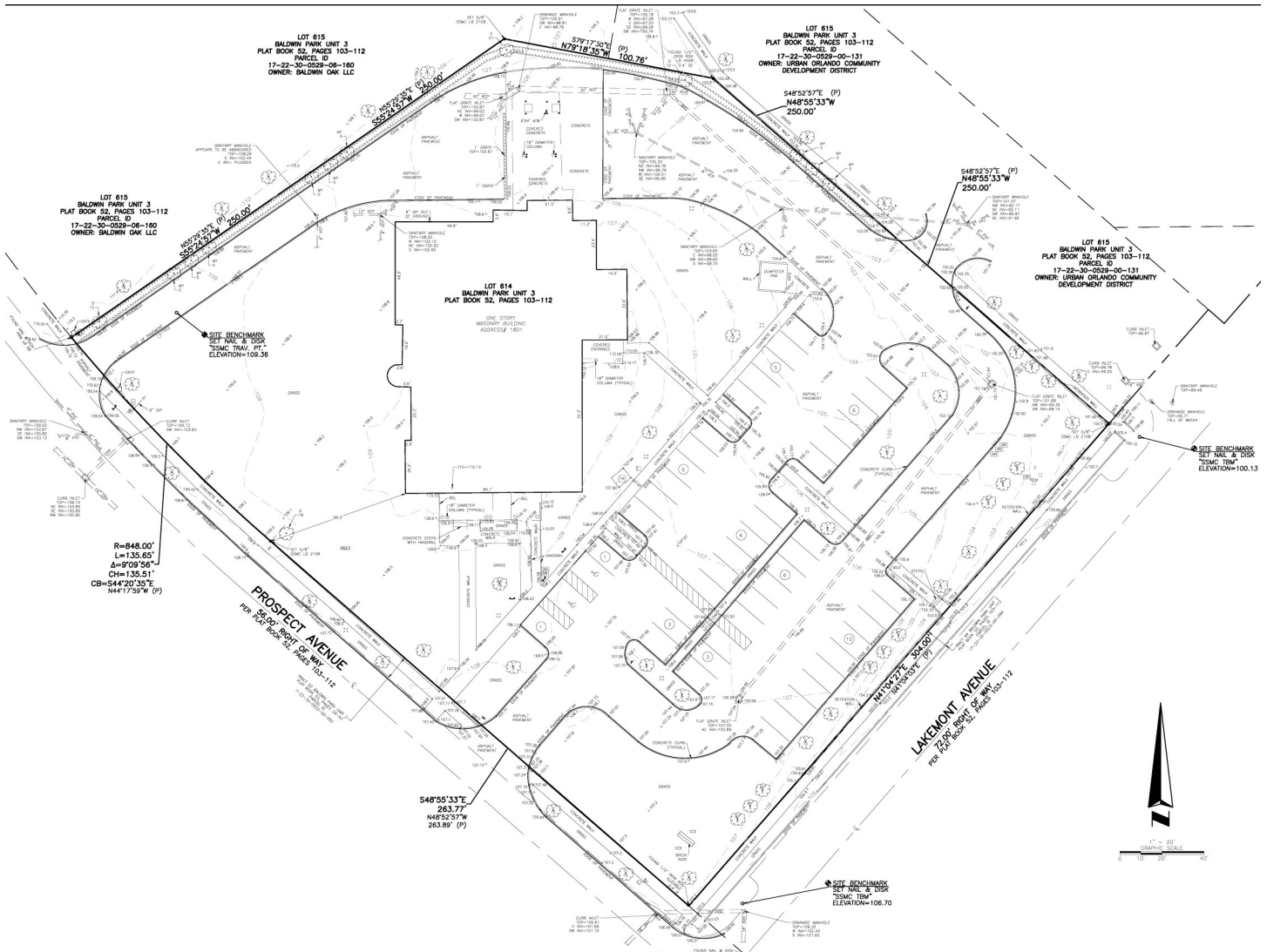


View of Baldwin Harbor entrance on left and wall of government building on right



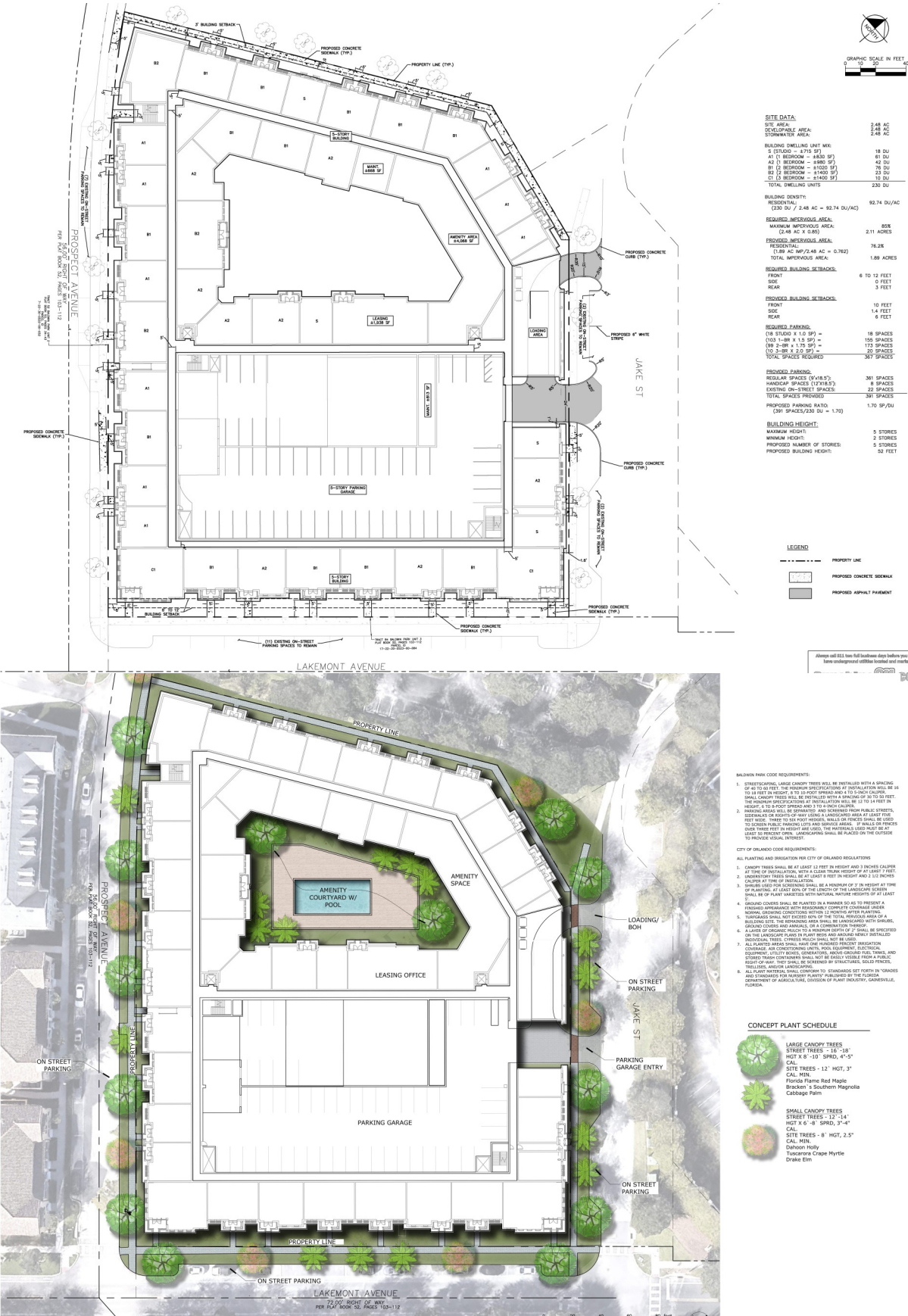
View from south side of Lakemont looking back toward site

# Property Survey of Existing Conditions

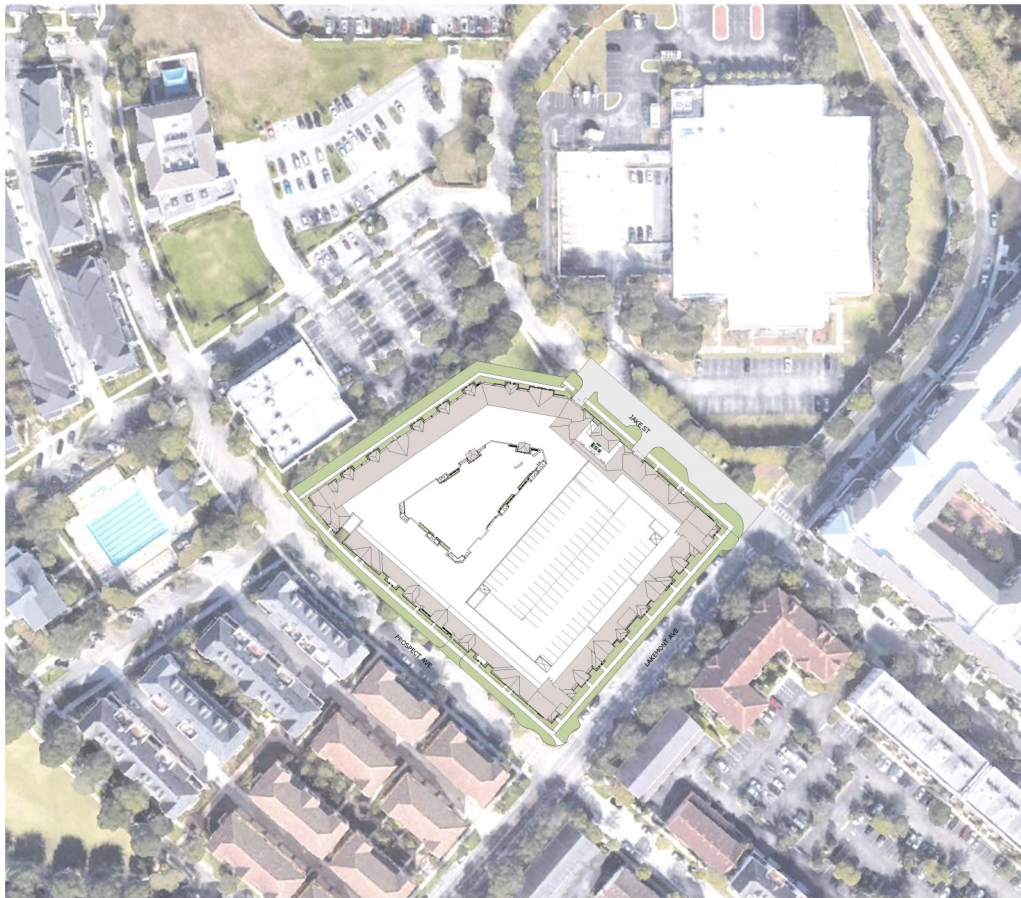




Proposed Site and Landscape Plans



# Architectural Site Plan



ARCHITECTURAL  
SITE PLAN

SCALE: 1" = 30'  
NOT FOR CONSTRUCTION



SCHEMATIC DESIGN  
PROJ. #210184.00

GABLES BALDWIN PARK  
2021.08.08

A001

**Baker Barrios**  
ARCHITECTS + LANDSCAPE ARCHITECTS



# Proposed Elevations





# Enlarged Elevations at Jake and Lakemont



ENLARGED  
ELEVATION



ENLARGED  
ELEVATION

# 3D Views



Prospect Ave and Lakemont Ave View



Prospect Ave View



Corner of Lakemont Ave and Jake St



Lakemont Ave View

3D VIEWS  
PERSPECTIVES

NOT FOR CONSTRUCTION



SCHMATIC DESIGN  
PROJ. #210184.00

GABLES BALDWIN PARK  
2021.08.30

A242



# Building Renderings



CORNER OF LAKEMON AVE AND JAKE ST



JAKE ST



# Building Renderings



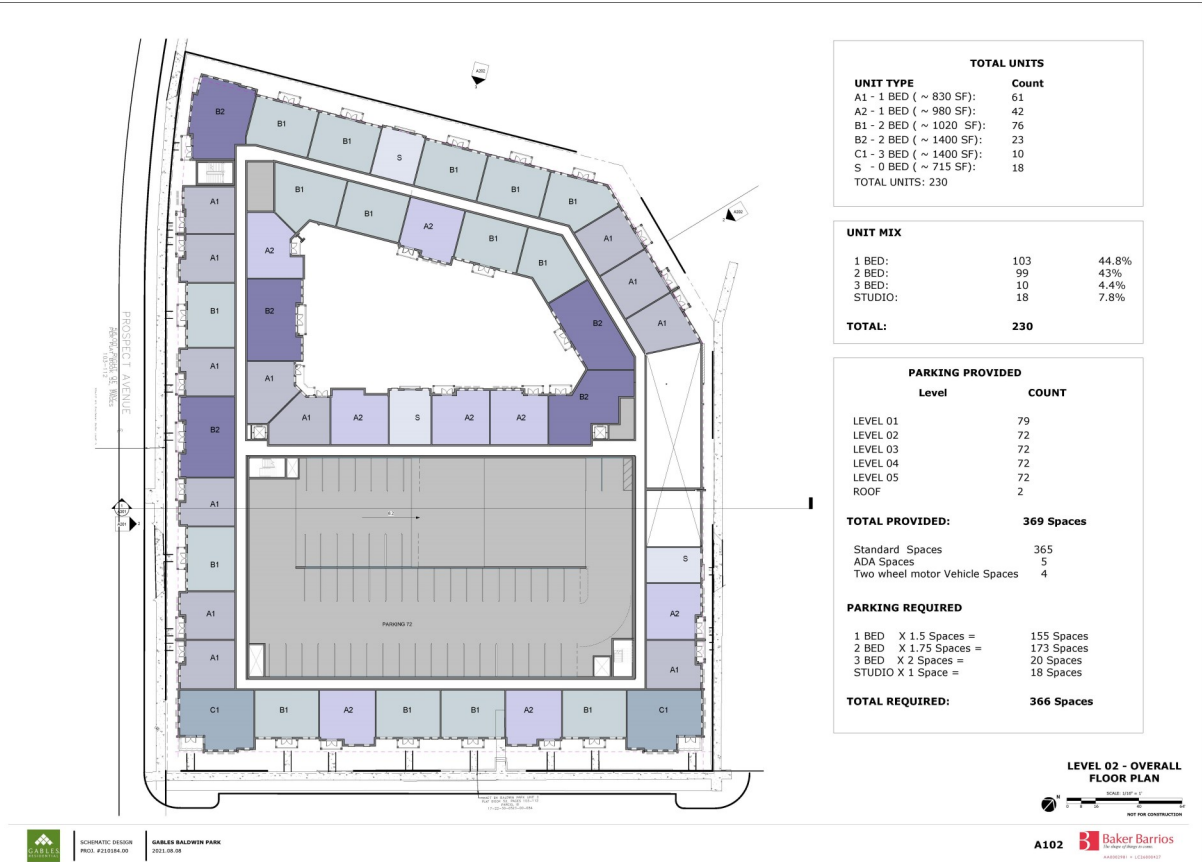
LAKEMONT AVE.



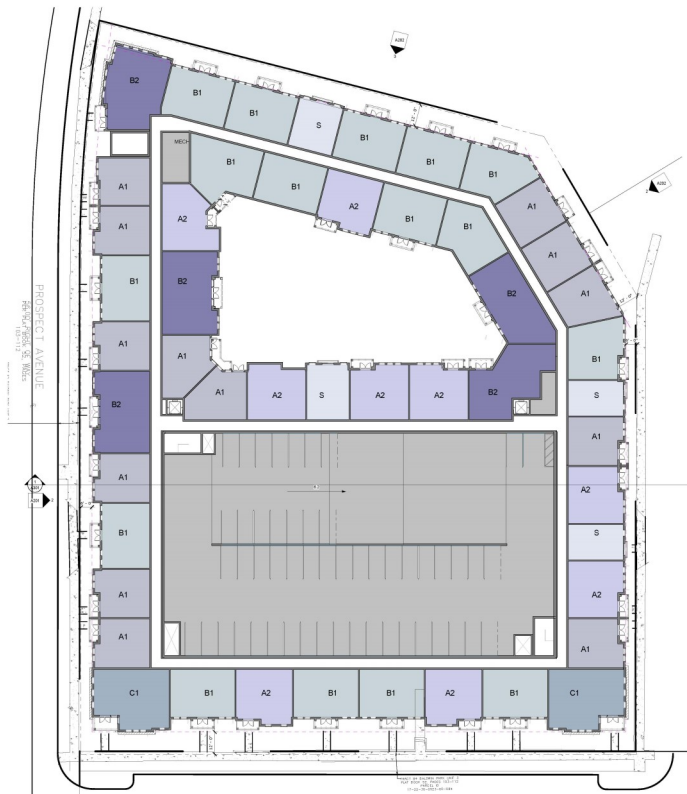
PROSPECT AVE



# Floor Plans Levels 1 and 2



Floor Plans Levels 3, 4 and 5



TOTAL UNITS	
UNIT TYPE	Count
A1 - 1 BED (~ 830 SF):	61
A2 - 1 BED (~ 980 SF):	42
B1 - 2 BED (~ 1020 SF):	76
B2 - 2 BED (~ 1400 SF):	23
C1 - 3 BED (~ 1400 SF):	10
S - 0 BED (~ 715 SF):	18
TOTAL UNITS: 230	

UNIT MIX		
1 BED:	103	44.8%
2 BED:	99	43%
3 BED:	10	4.4%
STUDIO:	18	7.8%
TOTAL: 230		

PARKING PROVIDED	
Level	COUNT
LEVEL 01	79
LEVEL 02	72
LEVEL 03	72
LEVEL 04	72
LEVEL 05	72
ROOF	2

TOTAL PROVIDED:		369 Spaces
Standard Spaces	365	
ADA Spaces	5	
Two wheel motor Vehicle Spaces	4	

PARKING REQUIRED		
1 BED	X 1.5 Spaces =	155 Spaces
2 BED	X 1.75 Spaces =	173 Spaces
3 BED	X 2 Spaces =	20 Spaces
STUDIO	X 1 Space =	18 Spaces
TOTAL REQUIRED:		366 Spaces

LEVEL 03 - LEVEL 04  
- OVERALL  
FLOORPLAN

A103 Baker Barrios  
ARCHITECTS + ENGINEERS



TOTAL UNITS	
UNIT TYPE	Count
A1 - 1 BED (~ 830 SF):	61
A2 - 1 BED (~ 980 SF):	42
B1 - 2 BED (~ 1020 SF):	76
B2 - 2 BED (~ 1400 SF):	23
C1 - 3 BED (~ 1400 SF):	10
S - 0 BED (~ 715 SF):	18
TOTAL UNITS: 230	

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2 BED:	99	43%
3 BED:	10	4.4%
STUDIO:	18	7.8%
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PARKING PROVIDED	
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LEVEL 05	72
ROOF	2

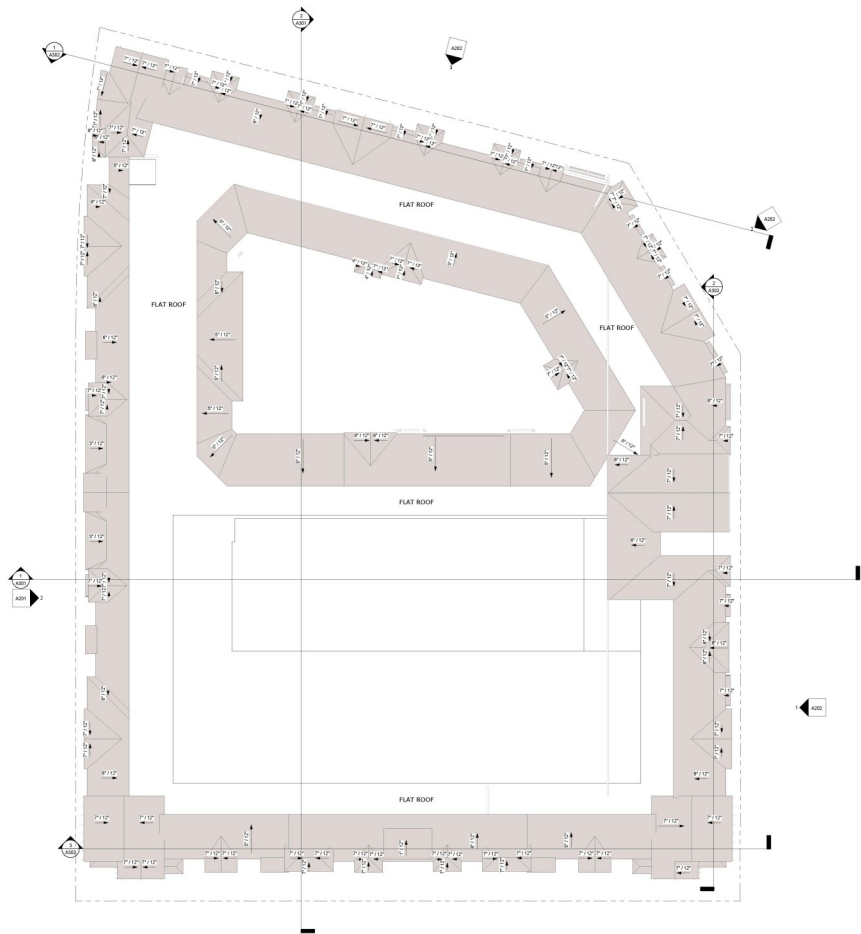
TOTAL PROVIDED:		369 Spaces
Standard Spaces	365	
ADA Spaces	5	
Two wheel motor Vehicle Spaces	4	

PARKING REQUIRED		
1 BED	X 1.5 Spaces =	155 Spaces
2 BED	X 1.75 Spaces =	173 Spaces
3 BED	X 2 Spaces =	20 Spaces
STUDIO	X 1 Space =	18 Spaces
TOTAL REQUIRED:		366 Spaces

LEVEL 05 - OVERALL  
FLOOR PLAN

A104 Baker Barrios  
ARCHITECTS + ENGINEERS

# Roof Plan



ROOF PLAN  
TOTAL: 100' x 100'  
NOT FOR CONSTRUCTION



SCHEMATIC DESIGN  
PROJ. #210184.00

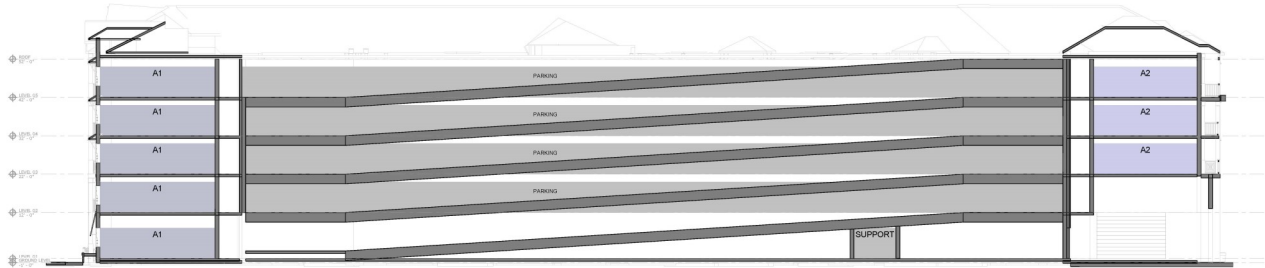
GABLES BALDWIN PARK  
2021.08.30

A105

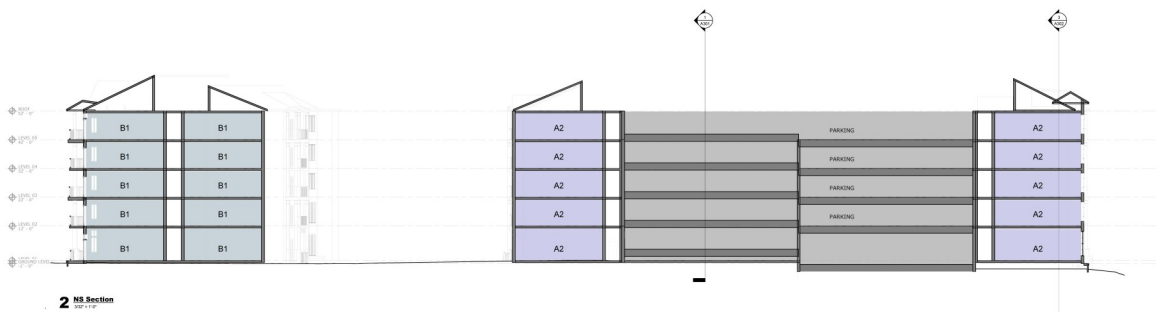
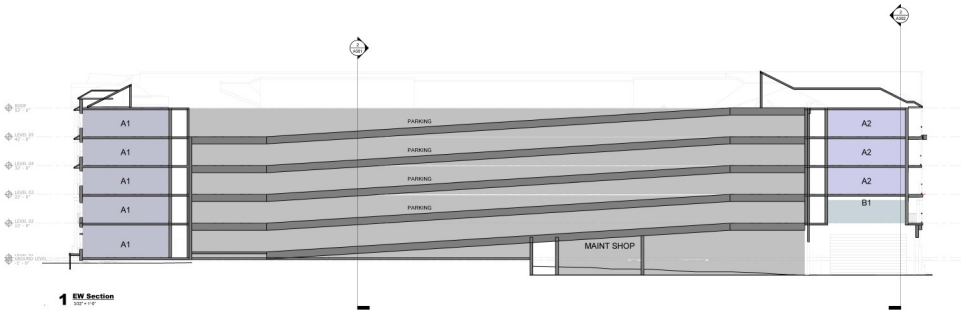




# Building Sections



EW SECTION  
SCALE: 1/8" = 1'-0"  
NOT FOR CONSTRUCTION



SECTIONS

# Findings

The request is consistent with the requirements for approval of a Master Plan with Modifications as contained in LDC Section 65.000, per the findings below:

1. The proposed use is consistent with the City's Growth Management Plan.
2. The proposed use is consistent with the purpose and intent of the Baldwin Park PD zoning district and all other requirements of the LDC.
3. The proposed use will be compatible with surrounding land uses and the general character of the area.
4. The necessary public facilities will be adequate to serve the proposed use, or will be provided by the applicant as a condition of this approval.

Staff recommends approval of MPL2021-10046 subject to the conditions below.

# Conditions of Approval

## Land Development

1. **Land Use and Zoning.** Except as provided herein, development of the property shall be consistent with the development standards of the Baldwin Park PD zoning district. Project shall be in compliance with ZON2021-10016.
2. **General Code Compliance.** Development of the proposed project should be consistent with the conditions in this report and all codes and ordinances of the City of Orlando, the State of Florida, and all other applicable regulatory agencies. All other applicable state or federal permits must be obtained before commencing development.
3. **Minor modifications.** Zoning variances may be approved pursuant to the procedures set forth in Part 2J Chapter 65, Orlando City Code. Additionally, recognizing that development plans can change in small ways between the planning and permitting stages of development, the planning official may approve up to a 10% modification of any applicable numerical development standard if the planning official finds that the proposed modification is consistent with the applicable goals, objectives, and policies of the GMP, is compatible with nearby existing land uses, would not result in inadequate public facilities, and is otherwise consistent with the public health, safety, and welfare. When approving such a modification of a development standard, the planning official may impose one or more of the conditions of development provided at section 65.334, Orlando City Code, but such condition or conditions must be reasonably calculated to mitigate the identifiable land use impacts of the modified standard.
4. **Regulations Subject to Code.** Except as provided herein, the proposed project is subject to the conditions of this report and all codes and ordinances of the State of Florida, City of Orlando and all other applicable regulatory agencies. All other applicable state or federal permits must also be obtained before commencing development.
5. **Consistency:** Development within the subject property must remain consistent with all exhibits provided within this application subject to the conditions ultimately approved by City Council.
6. **Expiration of the Master Plan.** The applicant must receive a building permit for the work requiring the master plan within two years of the master plan approval. If the applicant does not receive the building permit within two years, then the master plan is no longer valid and the applicant must reapply for a master plan if the applicant wishes to proceed with a development requiring a master plan. If the building permit for the work requiring the master plan expires before a certificate of occupancy or certificate of completion is issued for the work requiring the master plan, then the master plan is no longer valid and the applicant must reapply for a master plan if the applicant wishes to proceed with a development requiring a master plan.
7. As provided by subsection 166.033(5), Florida Statutes, issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. In accordance with subsection 166.033(5), Florida Statutes, it is hereby made a condition of this permit that all other applicable state or federal permits be obtained before commencement of the development.
8. **Maximum Residential Units:** The maximum number of residential units permitted on this site is 230 dwelling units, as stated in ZON2021-10016. Any request to increase the number of residential units will require an amendment to the PD to amend the Land Use Program and Entitlements Summary.
9. **Residential Use Conversion:** No residential units may be converted back to office without approval through an official planning action in coordination with the City Planning Division.



# Conditions of Approval

## Urban Design

1. **Final Architectural Review:** Final site plan; landscape plan; lighting plan; building elevations; building colors; signs; screen walls for the parking, dumpsters and/or compactor; and perimeter fence/wall designs are subject to final review and approval by the Baldwin Park Town Planner. Final plans must be reviewed and approved by the Baldwin Park Town Planner prior to building permit review to confirm compliance with all conditions of approval. Any significant changes from the elevations provided may be required to go back to the BPTDRC for approval.
2. **Architectural Design and Details:** The applicant has chosen to design the project in the Craftsman Style and staff has met numerous times to discuss the specifics of the style and much progress has been made from the initial meetings. The elevations provided in the application are schematic in nature and there still remain a number of style and detail items to be addressed including but not limited to window style, window proportion, window pane proportion, mullion size, muntin pattern, shutter use, bracket size and design, pent roofs, roof forms, gable end style, and consistent use of material and color. The Town Planner shall continue to work with the applicant to review proportions, appropriate style details, and material choice and detailing prior to submittal to Permitting. The project shall meet the standards found in The Baldwin Park PD in the Village Center General Area Development Standards, design standards in Appendix D (Attached Housing Residential Guidelines), and in Appendix F (General Architectural Standards"). If the applicant disagrees with the Baldwin Park Town Planner, the project shall return to the BPTDRC for their review.
3. **Retaining Wall Height at SE Corner:** The applicant shall continue to explore additional ways of mitigating the height of the first living floor along Prospect and Lakemont Avenues, especially at the corner of Lakemont and Jake. A single 9 foot high retaining wall is not acceptable. The materials of the retaining wall shall include stone or brick rather than stucco alone.
4. **Windows:** Windows shall be made of painted aluminum, wood or vinyl. Glass will be clear, not dark or reflective. Windows shall be single or double hung, or operable casements. Muntins shall be true divided panes or fixed on the interior and exterior surfaces. Window panes shall be similar proportions, throughout the building.
5. **Trash Areas and Mechanical Rooms:** All mechanical, trash areas, or other utilitarian areas that are visible from the street or accessible from the street must be treated architecturally, or incorporate decorative screens, louvers, doors, or similar to screen the areas.
6. **Backflow Preventer:** Backflow preventer[s] must be located so as to not be directly visible from the right-of-way and be screened from view where necessary. They must be clearly identified on the final utilities and landscape plans.
7. **Transformer:** Transformer areas, if not internal to the building, must be screened with decorative, opaque fencing and gates up to 6-feet in height they must be clearly identified on the final utilities and landscape plans.
8. **Mechanical Equipment:** All ground mounted and rooftop mechanical equipment must be screened from any public ROW and must meet the standards of the Land Development Code. An interior screen wall or parapet for rooftop mechanical equipment is required, the interior screen wall or parapet must be the same height or taller as the installed mechanical equipment height.
9. **Venting:** Individual unit venting, if proposed, shall be placed to be minimally visible and be the same color as the surface they are mounted on.
10. **Landscaping:** All landscaping for the site must meet the General Landscaping Standards (Appendix G in the PD) and be approved by the Town Planner.
11. **Streetscape:** The streetscape along Lakemont should mirror the streetscape on the opposite side of the street. All other existing street trees must be protected during construction, and replaced if any damage should occur. Additional comments regarding the site grade changes and retaining walls and planter are above in the building placement and orientation section.
12. **Street trees:** To the greatest extent possible, all existing street trees must remain intact, and be protected at all times during construction. All street trees that are removed or damaged in the course of construction must be replaced with new street trees of the same species.
13. **Signs:** All commercial signage must be in compliance with the approved Baldwin Park Village Center Master Sign Plan. All residential signage must be consistent with City of Orlando Land Development Code standards for property within the Traditional City. A maximum 18 s.f. per façade facing a street is permitted for identification signage for residential. Staff strongly recommends a master sign plan to provide a cohesive sign appearance across the building. Signs must integrate into the overall aesthetic of the village center and the principal building.
14. **Pedestrian Entrances and Connections:** The project shall incorporate pedestrian main building entrances that are identifiable, visible from the street, well lit, and easily accessible.

# Conditions of Approval

## Transportation

1. At all project entrances, clear sight distances for drivers and pedestrians must not be blocked by signs, buildings, building columns, landscaping, or other visual impediments. No structure, fence, wall, or other visual impediment must obstruct vision between 3 feet and 8 feet in height above street level. The street corner/ driveway visibility area must be shown and noted on construction plans and any future site plan submittals. The applicant must design the site plan as necessary to comply with the Florida Greenbook requirements for sight distance at intersections. Sight lines must be shown on both the site plan and landscape plan. Landscaping located within intersection triangles as defined by the Florida Greenbook shall be trimmed or spaced according to FDOT Design Index 546.
2. For any construction work planned or required within a public right-of-way or City sidewalk easement adjacent to a public right-of-way (including but not limited to: irrigation, drainage, utility, cable, sidewalk, driveway, road construction/reconstruction or landscaping), the Owner/Applicant must submit the following:
  - a. Maintenance of traffic plans (M.O.T.) (For more information/detailed requirements contact the Office of Special Events & Permits at 407-246-3704)
  - b. Roadway plans including paving, grading, pavement markings and signage (Contact the Permitting Transportation Engineering Reviewer at 407-246-3079 for details)
  - c. A copy of all required County and State permits (If permits are pending attach a copy of the application)
3. Parking Garage - The design and construction of the parking garage shall conform with City Code and Engineering Standards for all aspects including number of stalls provided, dimensions of stalls and aisles, percentages of compact and low turnover stalls allowed, ADA compliance, and maneuverability for all freight and solid waste collection activities. Space for freight and solid waste collection maneuvers shall be provided so that these maneuvers do not occur within the right-of-way of Jake St.
4. A bulb out must be constructed at the north east corner of Lakemont Ave. and Prospect Ave.
5. A second access point to the garage must be provided in accordance with the LDC. This second access point must be the be at the location of the A1 unit directly between Prospect Ave. and the garage ramp.
6. A crosswalk must be provided wherever a sidewalk/dedicated pedestrian travel path crosses a driveway or vehicular use area. All crosswalks at driveways and curb cuts must be designed with textured colored concrete, or similar, to clearly define the pedestrian zone, as required by Section 61.314(e). Thermoplastic paint may be incorporated but cannot meet this condition alone.
7. Parking must be provided in accordance with CH 61 of the Land Development Code.
8. A minimum of a minimum of 2 two-wheeled motor vehicle parking spaces must be provided convenient to the main entrance of the mixed-use building in accordance with LDC Sec. 61.322. Minimum dimensions for the two-wheeled vehicle parking spaces are 3 ft. by 10 ft. These spaces may be located in the parking garage.
9. Bicycle parking must be provided in accordance with the standards of Chapter 61, Part 3D of the Orlando Land Development Code, and shall be made available for each site, prior to the issuance of any Certificate of Occupancy for the use being served.
  - a. Outdoor bike racks meeting the requirement for short term parking must be installed on an impervious surface, within 50 ft of the primary entrance, and situated to avoid conflicts with pedestrians or other vehicles.
  - b. Long-term bicycle parking must be located on the same building site as the use being served. All long-term bicycle parking spaces must be located within 200 feet of the principal entrance to the building.

## Wastewater

The following shall be incorporated into the Planner's Staff Report for review and acceptance by the Applicant and into the Construction Plans submitted for review prior to building permit issuance:

1. A Civil/site utility plan showing connections point(s) to the public sanitary sewer shall be prepared by a Professional Civil Engineer and submitted with the construction plans for review and approval prior to building permit issuance.
2. The development wastewater discharge shall be computed and reported to the WRD at the time of construction plans submittal. Wastewater capacity allocation to the project shall be determined using the City of Orlando Sewer Service Policy Allocation Factors and/or the Growth Management Plan (GMP) Level of Service (LOS).



# Conditions of Approval

3. Sanitary sewer discharge pipe(s) from the development shall be laid out at 90 degrees or greater with respect to the public sanitary main(s) flow direction. All existing sanitary sewer laterals taken out of service shall be cut and capped at the right-of-way line (ROW), removed or abandoned in place in accordance with the City of Orlando specifications.
4. Sanitary sewer and reclaimed water analysis, design and construction shall be in accordance with Chapters 9 and 10 of the current Engineering Standards Manual (ESM) and applicable City Standard Details available on the City's website.
5. For questions about Water Reclamation Division review, please contact Julio Morais, P.E., (407) 246-3724 or [julio.morais@cityoforlando.net](mailto:julio.morais@cityoforlando.net), and/or Dave Breitrick, P.E., Engineering and Mapping Manager (407) 246-3525 or [david.breitrick@cityoforlando.net](mailto:david.breitrick@cityoforlando.net)

## Police

The Orlando Police Department has reviewed the plans for The Multi-Family housing project at 1801 Prospect Ave., applying CPTED (Crime Prevention Through Environmental Design) principles. CPTED emphasizes the proper design and effective use of a created environment to reduce crime and enhance the quality of life. There are overlapping strategies in CPTED that apply to any development: Natural Surveillance, Natural Access Control, Territorial Reinforcement, Target Hardening, and Maintenance and Management. The full report including Distributed Antenna System (DAS) requirements has been sent to the applicant via email on September 10, 2021.

## Solid Waste

Solid Waste needs to know the clearance of the roll up garage door. This may require castored dumpsters to be rolled out to Jake St for servicing. Also, need to know interior clearance to ensure service front end load dumpsters.

# Contact Information

**Land Development & Urban Design**

For questions, contact Richard Forbes at 407-246-3350 or at [richard.forbes@orlando.gov](mailto:richard.forbes@orlando.gov).

**Transportation**

For questions, contact Jacques Coulon at 407-246-2293 or at [jacques.coulon@orlando.gov](mailto:jacques.coulon@orlando.gov)

**Tree Removal**

For questions regarding tree removal or encroachment contact Justin Garber at [justin.garber@cityoforlando.net](mailto:justin.garber@cityoforlando.net).

**Water Reclamation**

For questions regarding Water Reclamation, please contact David Breitrick at [david.breitrick@cityoforlando.net](mailto:david.breitrick@cityoforlando.net).

**Solid Waste**

For questions regarding Solid Waste, please contact Joe England at [joseph.england@cityoforlando.net](mailto:joseph.england@cityoforlando.net)

**Police**

For questions regarding the Orlando Police Department plan review, please contact Audra Rigby at 407.246.2454 or [Audra.Rigby@Orlando.gov](mailto:Audra.Rigby@Orlando.gov).

## Review Process—Next Steps

1. TDRC minutes tentatively scheduled for review and approval by City Council on October 25, 2021.
2. Following approval by BPTDRC and acceptance of the minutes by City Council, Town Planner approval of the design will be required prior to submitting plans to the Permitting Division.