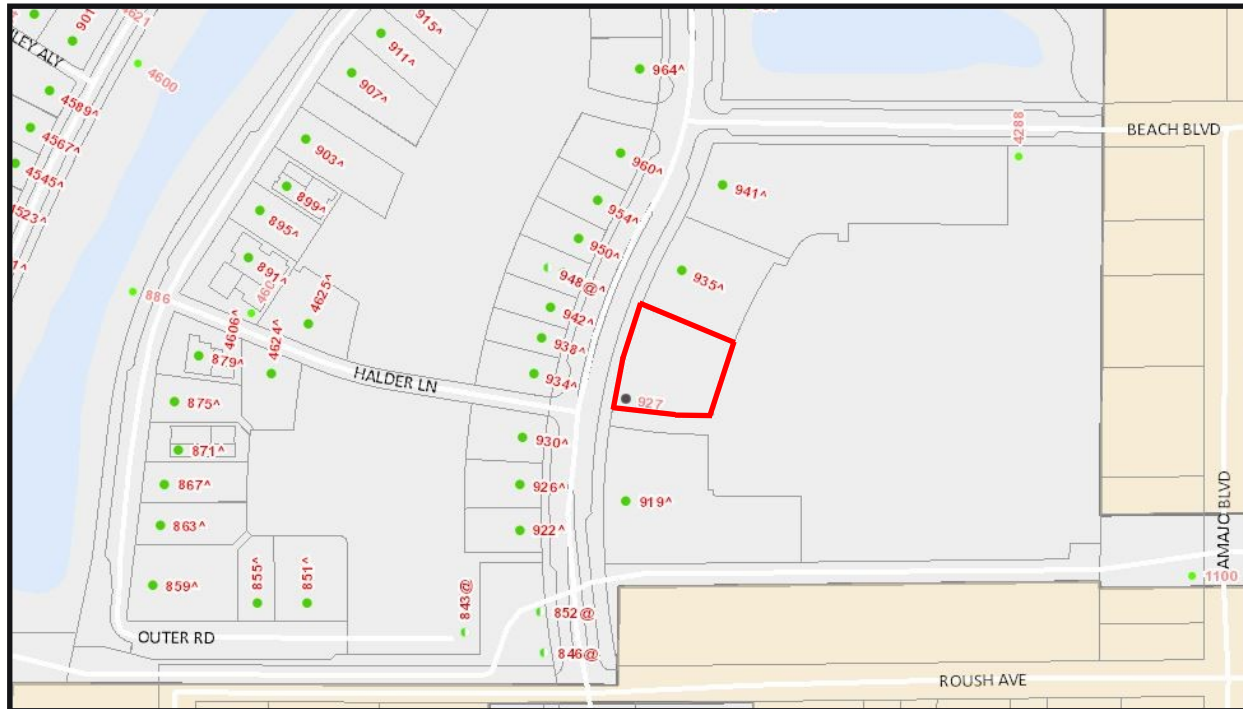


March 24, 2022
Staff Report to the Baldwin Park
Town Review Design Committee

CASE #MPL2021-10047

927 LAKE BALDWIN LANE OFFICE BUILDING



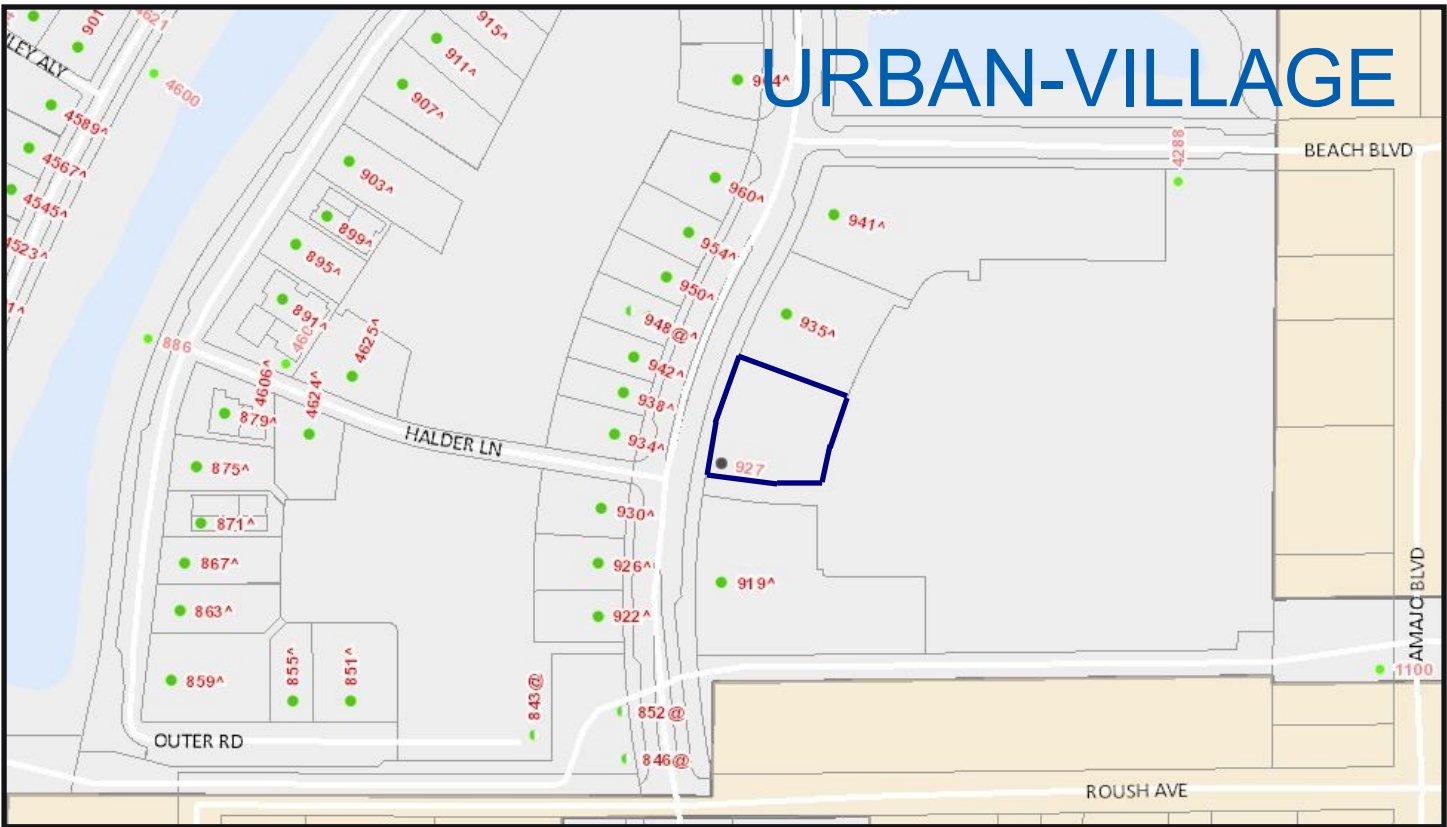
Location Map

 Subject Site

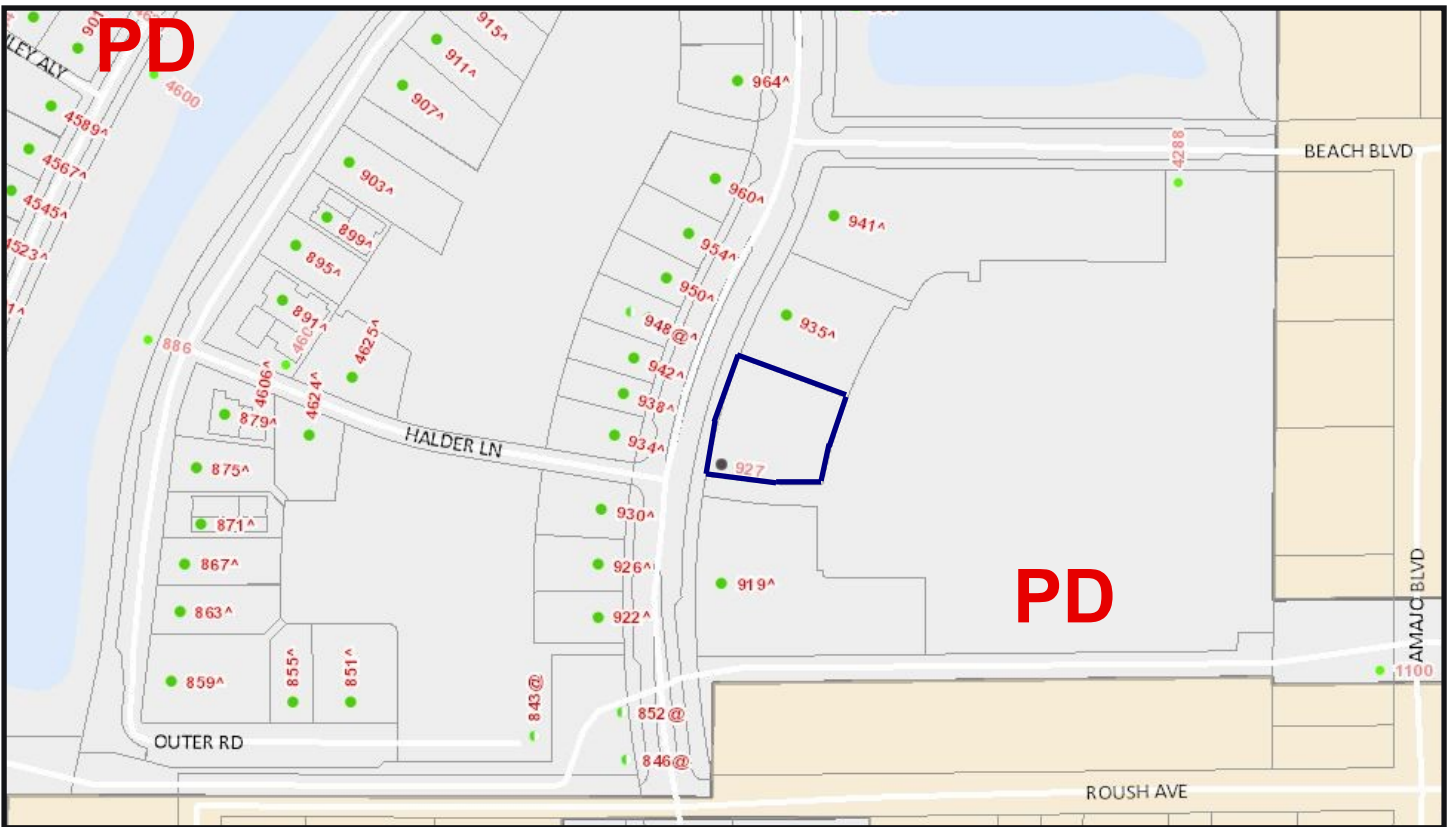
SUMMARY

<p>Owner Colonial Development Group III, LLC</p> <p>Applicant Gregory R. Crawford, PE Florida Engineering Group (FEG)</p> <p>Project Planner Richard Forbes, AIA Baldwin Park Town Planner</p> <p>Updated: March 16, 2022</p>	<p>Property Location: 927 Lake Baldwin Lane, located at the northeast corner of Lake Baldwin Lane & Halder Lane. PID: 21-22-30-1501-03-000 (0.40 acres, District 3).</p> <p>Applicant's Request: Master Plan for a 8956 square foot, 1 story office building and also seeking a non-substantial amendment to the Baldwin Park PD to accommodate the proposed development (ZON2021-10017).</p> <p>Staff's Recommendation: Approval of the request subject to the conditions in the staff report.</p> <p>Public Comment The applicant's submittal and notice of the</p>	<p>Baldwin Park TDRC meeting were posted on the City of Orlando's Baldwin Park website on March 17, 2022. This staff report was posted to the City's Baldwin Park website approximately one week prior to the BPT-DRC meeting and was also provided to the Baldwin Park Commercial Owners Association via e-mail.</p> <p>As of the published date of this report staff has not received any public comment.</p>
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Future Land Use Map



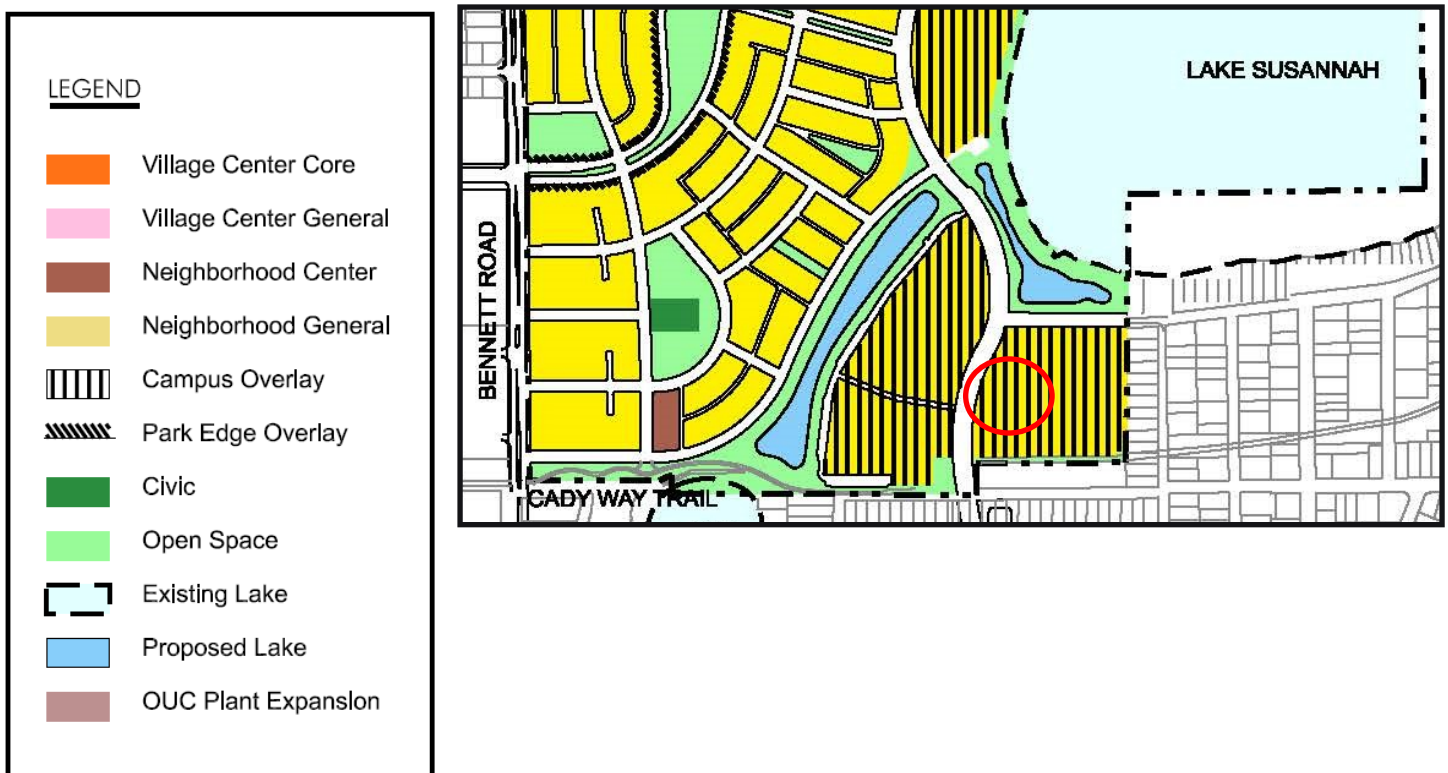
Zoning Map



PD Land Use Map



PD Regulatory Map



Project Analysis

Project Description

The applicant has applied for Specific Parcel Master Plan approval for a 1 story, 8956 square foot office building on a vacant 0.40 acre property within the Baldwin Park Neighborhood Business District. In order to accommodate the proposed development, a Non-Substantial Amendment to the Baldwin Park PD (see companion case #ZON2021-10017) is required to allocate an additional 7,461 square feet of office space to the subject property to accommodate the development of the new +/-8956 square foot office building (1,495 square feet of office space was previously allocated in relation to MPL2005-00037 for the DRMP project (aka Colonial Development)).

The applicant provided the following project description:

This submittal is for a Master Site Plan review with the City of Orlando for a Professional Office project on a parcel of land that contains approximately 0.40 acres. The project is located at 927 Lake Baldwin Lane, the current zoning is PD/AN – Baldwin Park, and the Future Land Use designation is Urban Village. The property currently is vacant, but is part of a larger overall development of the Colonial Development Office Center within the Baldwin Park Development that provides shared facilities such as parking, stormwater, and solid waste disposal. Existing uses adjacent to the property include office to the north; shared office parking lot to the east; office to the south; and office to the west. The proposed use is compatible with the adjacent developments in the area and adjacent to the property.

As can be seen from the Master Site Plan, the proposed development is for a 8,956 square foot office building, that will include a new one (1) story building with associated sidewalk connections to the overall Colonial Development Office Center and Baldwin Park's parking, stormwater, and utility facilities.

Previous Actions:

- Baldwin Park PD Ordinance was adopted on July 27, 1998.
- On December 15, 2000, the Baldwin Park Town Design Review Committee (TDRC) approved the Infrastructure Master Plan (MPL 2000-00001).
- On April 26, 2001, the TDRC approved the Landscape Master Plan (MPL 2001-00005).
- On June 26, 2003, the TDRC approved the Westside Neighborhoods Master Plan (MPL2003-00007).
- On August 18, 2003, the TDRC approved the Preliminary Plat for Baldwin Park Unit 7 (SUB2003-00044), with the Final Plat being approved by City Council on September 15, 2003.
- On August 18, 2003, the TDRC approved the Specific Parcel Master Plan for the Baldwin Park—Neighborhood Business District (MPL2003-00016).
- On July 28, 2005, the TDRC approved the Specific Parcel Master Plan for DRMP Phase 1 (MPL2005-00037) which consisted of 4 buildings on four lots.
- On August 30, 2007, the Specific Parcel Master Plan for the DRMP Phase II (aka Colonial Development) was revised administratively to develop three buildings rather than four, with some of the office space being reallocated from the subject site to the other three lots. Those three lots were developed between 2006 and 2009 with three office buildings (Lot 1—941 Lake Baldwin Lane—77,337 square feet; Lot 2—935 Lake Baldwin Lane—15,518 square feet; and Lot 4—919 Lake Baldwin Lane—20,650 square feet), leaving 1,495 square feet allocated to Lot 3—927 Lake Baldwin Lane.

Project Context

The property has a future land use designation of Urban-Village and is zoned PD (Baldwin Park Planned Development). The Land Use Map contained in the PD designates the property as "Office". The Regulatory Map within the PD designates the subject property as Neighborhood General with the Campus Overlay. No changes to the PD Land Use Plan Map or Regulatory Plan Map are required. The property is surrounded by office uses to the north, south, and west, with a surface parking lot to the east. Additional details on surrounding properties can be found in Table 1 below.

Table 1—Project Context

	Future Land Use	Zoning	Surrounding Use
North	URBAN-VILLAGE	Planned Development (Baldwin Park PD)	Office
East			Parking Lot w Residential in Unincorporated Orange County Further to East
South			Office
West			Office

Project Analysis

Development Standards:

The applicant has submitted an application requesting an amendment to the Specific Parcel Master Plan of the COLONIAL DEVELOPMENT GROUP OFFICE PARK 72/74 LOT 3 within the Campus District Overlay area. The regulatory plan designates the site "Campus Overlay". The proposed Development Standards and Setbacks for the site shall be consistent with the standards in the PD in Section 10.2 of the Campus District Overlay Development Standards.

Lot/Building Coverage Site Sizes: (max width: building site can be up to full block.) Lot 3 is 144.72 feet along Lake Baldwin Lane. Lot 3 is part of 4 lots that face Lake Baldwin Lane. The proposed building is 99.33 feet wide along the Lake Baldwin Lane frontage. The maximum allowed impervious surface ratio (ISR) is 85% and the proposal has an ISR of 73.5%.

Building Height: (Minimum height is 1 story, Maximum 8) The Campus District Overlay area requires a minimum building height of 1 story with a maximum height of 8 stories. The proposed building is 1 story.

Setbacks: The PD requires a 12-foot front setback/build-to line; 0-foot minimum side setback; 0-foot rear setback; and 5-foot minimum setback from the street R.O.W. for all parking lots. The building has been moved forward towards the Lake Baldwin Lane setback so that the center portion of the building meet the 12 setback and the entry canopy encroaches slightly into the setback (which is allowed).

Minimum Building Frontage: (A minimum of 70% of block width on commercial streets must be building frontage.) . The proposed building design, along with the existing buildings, will meet or exceed the building frontage requirement on Lake Baldwin Lane.

Design Guidelines and Architectural Standards

The project is subject to the Campus District Overlay Architectural Standards, 10.3, Guidelines of Appendix B -Office Buildings, and Appendix F-General Architectural Standards of the Baldwin Park PD.

Building Placement and Orientation: The building fronts onto Lake Baldwin Lane and is partially at the setback line of 12 feet. The building includes a prominent pedestrian entry on Lake Baldwin Lane, a double height through lobby to the east side and additional prominent pedestrian entry facing the parking lot. The building has a clear relationship to the street and also to the side street which is the entry to the parking lot. The placement of the outdoor patio area at the southeast corner of the building causes the sidewalk to curve outside the sidewalk easement to avoid the patio. The patio should be angled or reduced so that the sidewalk may continue straight along the street and remain in the sidewalk easement. The patio provides outdoor activity and interest and is encouraged. The building has been placed so that the two existing oak trees on the northeast portion of the site will be retained.

Building Expression: The architectural style of the proposed building is consistent thought-out on all four elevations and provides varied textures and planes throughout. The design is more modern than that typically found in Baldwin Park. Staff has met with the applicant's architect several times to refine the design and staff is pleased with the result. The project, while modern in aesthetic, contains the required base, middle and top along with other features that will allow the design to blend into the design fabric of this area of Baldwin Park. The base and central element is detailed in brick. The flat roof is behind a parapet and accentuated with a modern interpretation of a traditional cornice.

The facades include punched-opening expression for windows with a metal hood surround that adds additional shadow lines and detail. Colors are proposed to be light neutral colors such as light tan, beige-brown brick, bronze window frames, clear solarban glass and black metal accents. Active outdoor space at the southeast corner is encouraged in the guidelines and is screened by a wood slat system.

Utilities: All utilities are required to be screened from view, and not located between the building and the street. Roof top equipment must be screened from all directions, including the parking lot and a higher parapet or additional roof top screening walls may be required.

Landscape Standards and Streetscape:

All landscaping for the site must meet the General Landscaping Standards (Appendix G in the PD) and be approved by the Town Planner. All existing street trees must be protected during construction, and replaced if any damage should occur. The streetscape on the continuation of Halder Lane leading to the parking lot should mirror the streetscape on the south side of the Lane which is a park strip with oak trees and an approximately 5 foot wide sidewalk. The proposed Halder Lane sidewalk is shown to curve nearer to the curb to avoid a portion of the patio and the sidewalk should be as straight as possible and remain within the existing sidewalk easement. The patio is shown to be set back from the edge

of the building in the rendering which allows the sidewalk to continue in a straight path within the sidewalk easement. The site plan shows additional walkways and seating areas on the site which are encouraged.

Transportation and Parking

The applicant is not seeking to add any new roads or parking areas. All parking will be contained within the existing parking lot to the rear of the subject site. The existing parking lot provides 418 parking spaces which is sufficient for the existing and proposed development. The transportation department recommends approval of the proposed office building without further comment or condition.

Signage

This is a single tenant office building and the application renderings and elevations show three wall signs. One wall sign with name and logo is the Lake Baldwin Lane façade of the building, a similar wall sign with name and logo is facing the parking lot, and a logo is shown on the south façade. The signage appears appropriately scaled and will need approval from the Baldwin Park Commercial Owners Association.

InfrastructureStormwater:

The site is part of the Baldwin Park master storm water plan. The maximum ISR according to the Baldwin Park Campus District Overlay Development Standards is 85%.

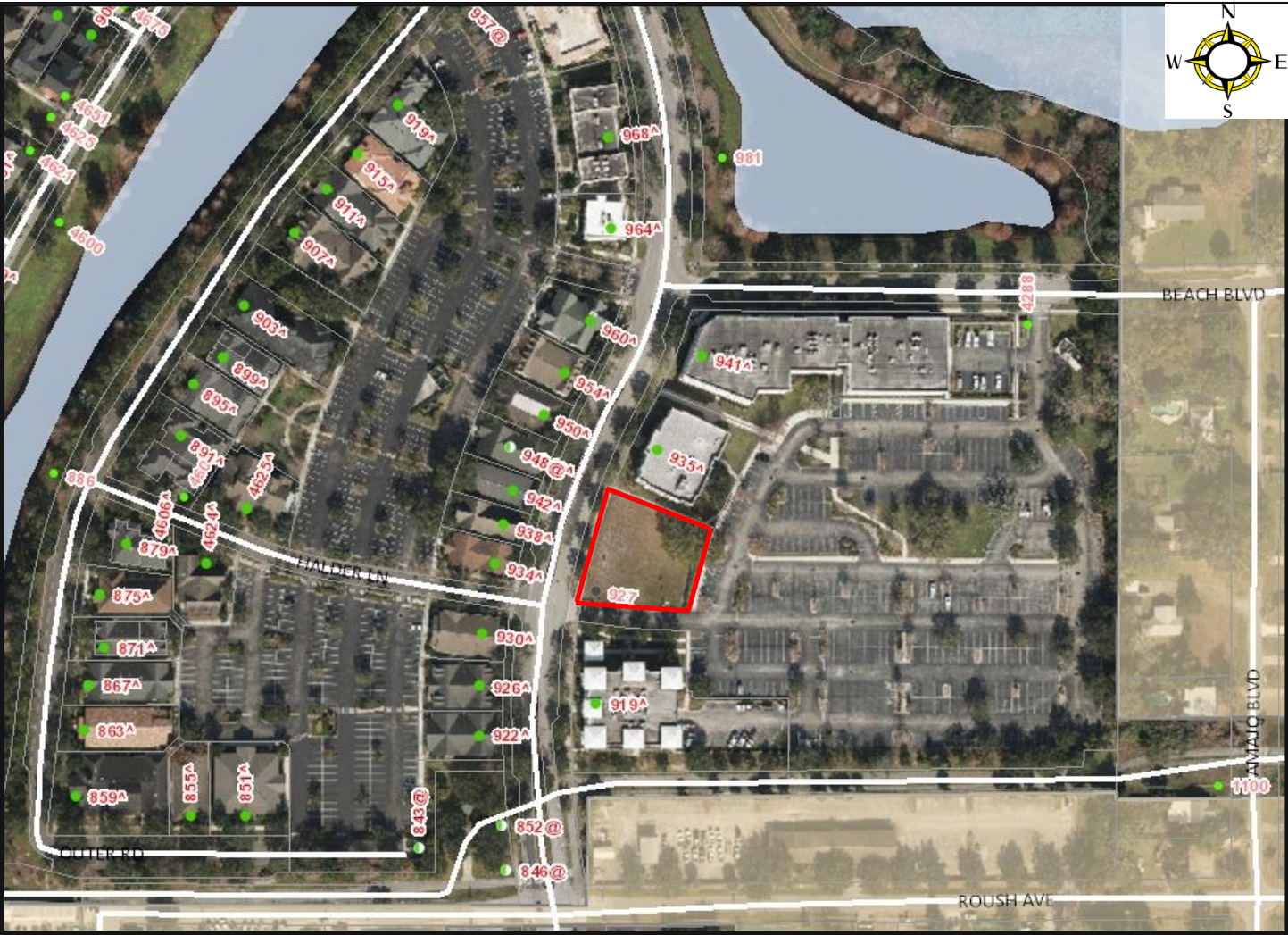
Solid Waste:

The lot is part of the previously developed area and the solid waste facilities are already in place in the existing parking lot. The following comment was provided by Solid Waste Division: It may not be their responsibility; but this site only has a single enclosure for a garbage dumpster. There needs to be space dedicated for a recycling container.

Environmental

There are no environmental areas within the site.

Aerial Photo



Site Photos



View from Lake Baldwin Lane



View from Halder Lane and Lake Baldwin Lane



View of the entry to the parking lot off Lake Baldwin Lane

Site Photos



View of Streetscape
across from site

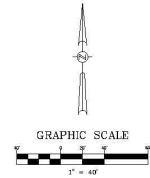


View north on to site



View towards the east
across site

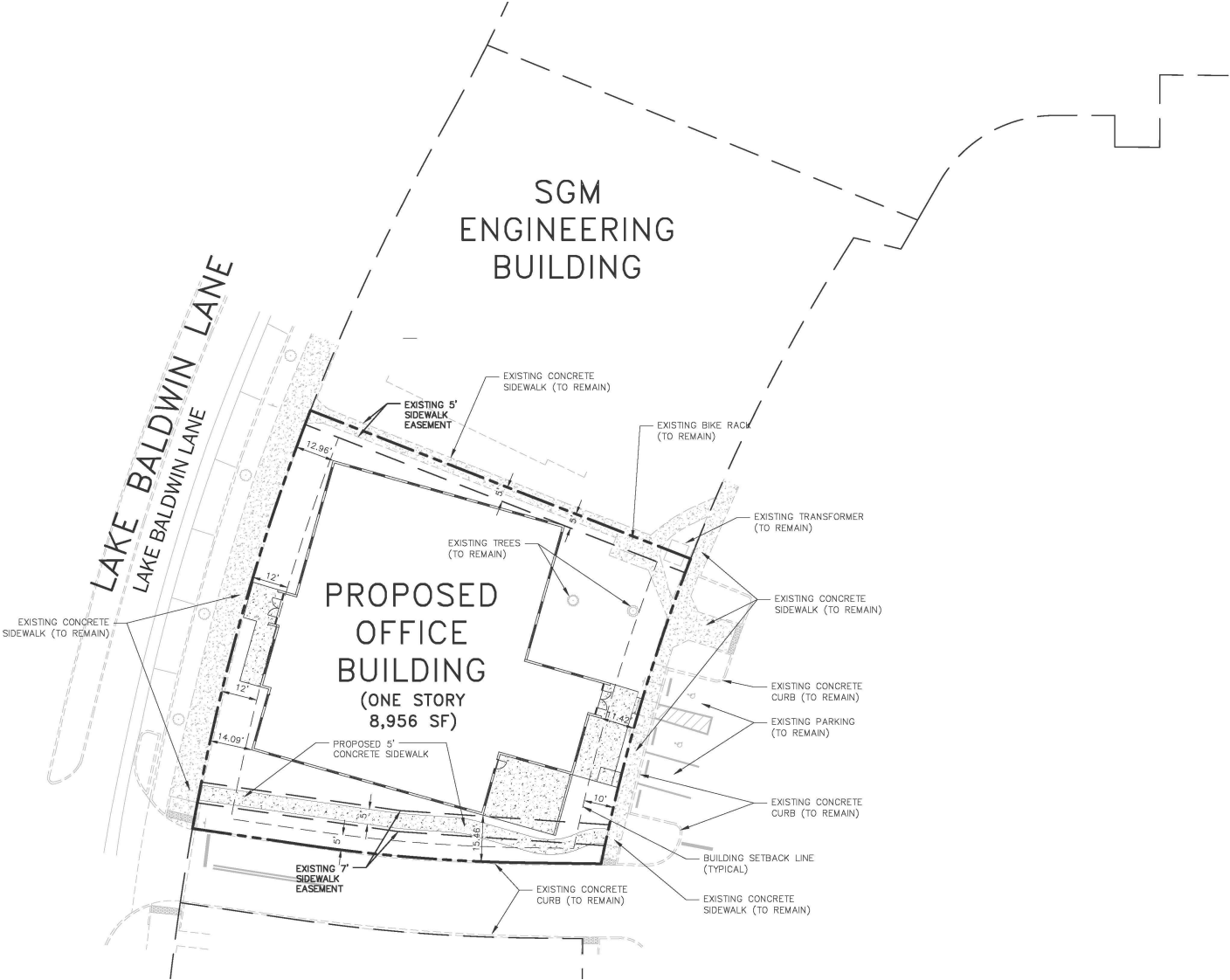
Overall Location Plan and Survey



 TRACT BOUNDARY
 EASEMENT LINE

PROPERTY LOCATION:	927 KALE BLDG, FLORIDA CITY OF BALDWIN, FLORIDA
EXISTING PROPERTY ZONING:	PD/AH
PROPOSED PROPERTY ZONING:	PD/AH
PROPERTY FUTURE LAND USE DESIGNATION:	URBAN VILLAGE
EXISTING USE:	VACANT
PROPOSED USE:	PROFESSIONAL OFFICE
PROJECT AREA:	0.40+ ACRES
	OVERALL - 8.19 ACRES (1)
EXISTING OFFICE (1):	113,500 S.F.
PROPOSED OFFICE:	8,956 S.F.
TOTAL GROSS FLOOR AREA:	122,481 S.F.
PERCENT OF OVERALL ZONED DEVELOPMENT OFFICE PARK	0.10%
PARKING REQUIRED:	
PARKING (2.5 SPACES/1000 SF) = 193,201 SF =	308 SPACES
MIN. OFFICE = OFFICE	308 SPACES
ADDITIONAL PARKING (OTHER PARKING FOR COMMERCIAL DEVELOPMENT)	0 SPACES
EXISTING TRAILING PARKING SPACES	408 SPACES
WALKING PATHWAY	100 SPACES
TOTAL PARKING PROVIDED	408 SPACES
FLOOR AREA RATIO (FAR):	
ALLOWED:	0.34 (124,201 SF)
PROVIDED:	0.34 (122,481 SF)
IMPERVIOUS SURFACE RATIO (ISR)	
ALLOWED:	85.00% OR 85 ACRES
PROVIDED:	73.16% OR 73 ACRES

Site Plan



SITE DATA

PROPERTY LOCATION:	927 LAKE BALDWIN LANE CITY OF ORLANDO, FLORIDA
EXISTING PROPERTY ZONING:	PD/AN
PROPOSED PROPERTY ZONING:	PD/AN
PROPERTY FUTURE LAND USE DESIGNATION:	URBAN VILLAGE
EXISTING USE:	VACANT
PROPOSED USE:	PROFESSIONAL OFFICE
PROJECT AREA:	0.40± ACRES
PROPOSED OFFICE:	8,956 S.F.
TOTAL GROSS FLOOR AREA:	122,461 S.F.
BUILDING SETBACKS (REQUIRED)	BUILDING SETBACKS (PROPOSED)
FRONT (WEST) 12'	FRONT (WEST) 12.00'
SIDE (NORTH) 5'	SIDE (NORTH) 5.00'
SIDE (SOUTH) 5'	SIDE (SOUTH) 15.46'
STREET SIDE (EAST) 10'	REAR (EAST) 11.42'

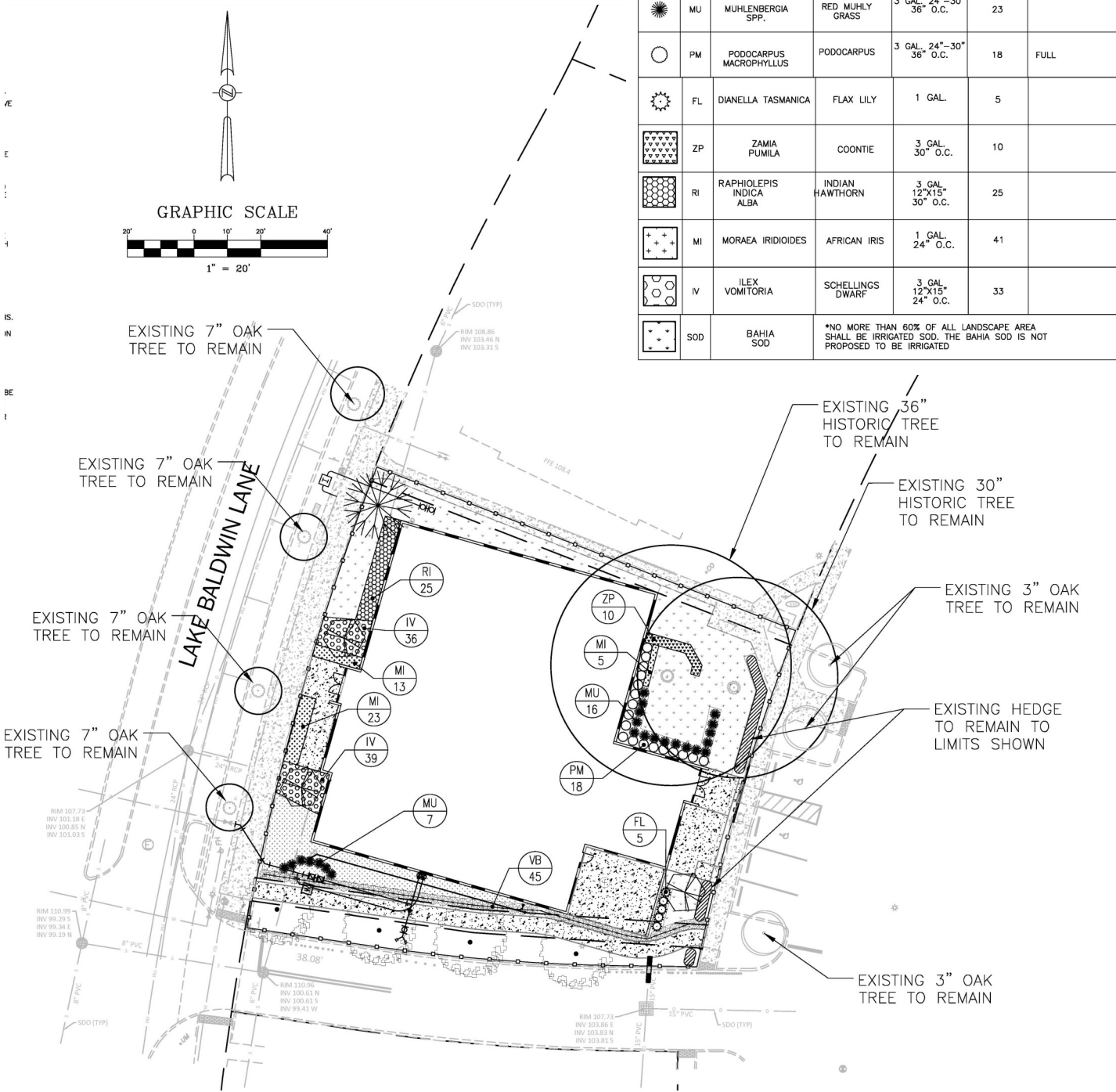
SITE NOTE:

ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING THE APPROVAL OF FINAL CONSTRUCTION PLANS.

SITE AREA CALCULATIONS

	EXISTING	PROPOSED
BUILDING	0.00 S.F.	8,956 S.F.
SIDEWALK	597 S.F.	1,919 S.F.
IMPERVIOUS AREA	597 S.F. 0.0137 AC. 3.46 %	10,875 S.F. 0.2497 AC. 62.95 %
PERVIOUS AREA	16,679 S.F. 0.3829 AC. 96.54 %	6,401 S.F. 0.1469 AC. 37.05 %
TOTAL SITE AREA	17,276 S.F. 0.3966 AC. 100.00 %	17,276 S.F. 0.3966 AC. 100.00 %

Landscape Plan



Proposed East and West Elevations



01 WEST ELEVATION

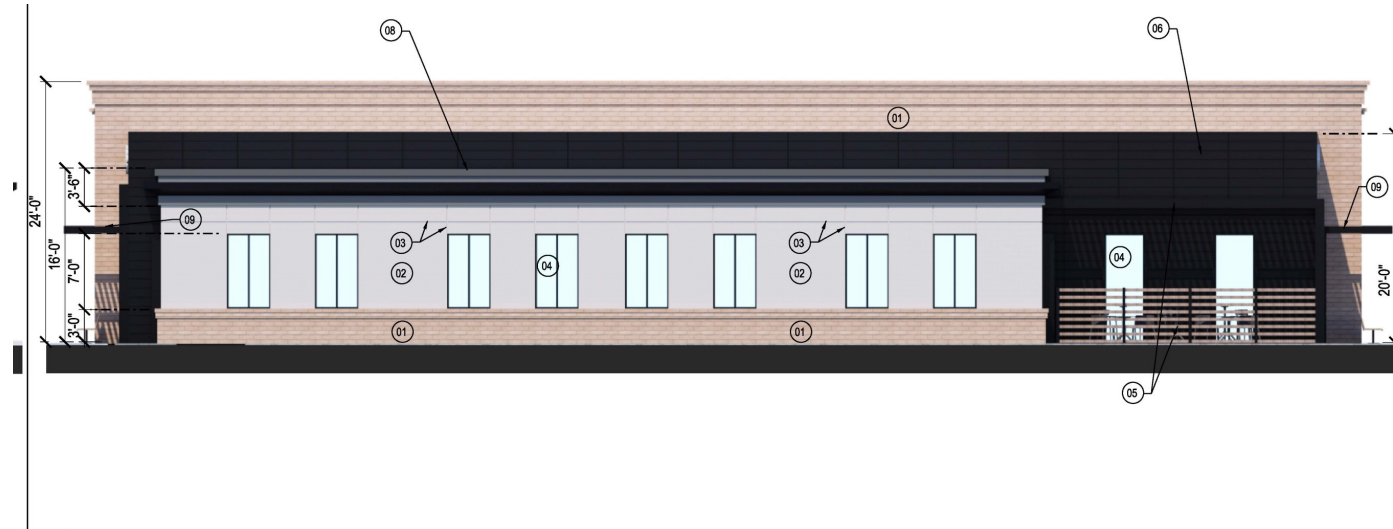


03 EAST ELEVATION

FINISH KEYNOTES

- | | |
|---|--------------------------------------|
| 01 NEUTRAL BEIGE BRICK _ NORMAN STRETCHER | 08 DETAILED CORNICE _ STUCCO OR EFIS |
| 02 LIGHT NEUTRAL TONE PAINTED STUCCO _ SANDED FINISH | 09 ALUMINUM CANOPY |
| 03 REVEAL DETAIL | |
| 04 GLASS STOREFRONT | |
| 05 WOOD TONE LOUVER SYSTEM _ SUNSHADE | |
| 06 ALUMINUM PANEL SYSTEM | |
| 07 PROPOSED SIGNAGE LOCATIONS _ TO BE DESIGNED AND PERMITTED BY SIGN VENDOR | |

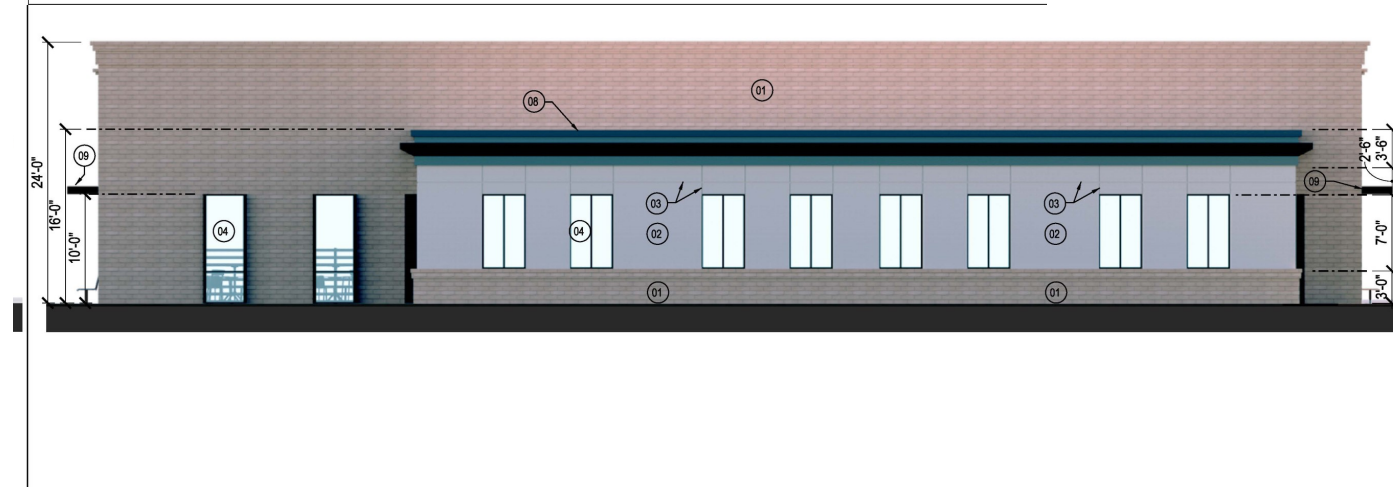
Proposed North and South Elevations



02 SOUTH ELEVATION

FINISH KEYNOTES

- | | | | |
|----|--|----|-----------------------------------|
| 01 | NEUTRAL BEIGE BRICK _ NORMAN STRETCHER | 08 | DETAILED CORNICE _ STUCCO OR EFIS |
| 02 | LIGHT NEUTRAL TONE PAINTED STUCCO _ SANDED FINISH | 09 | ALUMINUM CANOPY |
| 03 | REVEAL DETAIL | | |
| 04 | GLASS STOREFRONT | | |
| 05 | WOOD TONE LOUVER SYSTEM _ SUNSHADE | | |
| 06 | ALUMINUM PANEL SYSTEM | | |
| 07 | PROPOSED SIGNAGE LOCATIONS _ TO BE DESIGNED AND PERMITTED BY SIGN VENDOR | | |



04 NORTH ELEVATION

- | | | | | | | | |
|---|---|---|---|---|--|---|---|
|  |  |  |  |  |  |  |  |
| BASE PAINT
FLORIDA PAINTS'
WHALEBONE 0203 | BASE PAINT
FLORIDA PAINTS'
WOOD SHADOW 0205 | STOREFRONT SYSTEM
KAWNEER TRIFAB
COLOR: DARK BRONZE | BRICK CLADDING
BELDEN
BEACON GRAY VELOUR | VIRACON GLASS
VRE4-59 INSULATING
BRONZE HS | VIRACON GLASS
SOLARBAN 60 STARPHIRE
GLASS INSULATING | METAL PANEL
ALPOLIC
BLACK MATTE FINISH | WOOD SCREEN
NATIONAL WOOD
PALDAO, QC |

Materials Palette

Building Renderings



The building as seen from the parking lot



The building as seen from Lake Baldwin Lane

Building Renderings



The building as seen from the west on Lake Baldwin Lane. Street trees omitted for clarity.



The building as seen from the south.

Floor Plan



GENERAL NOTES					
1. THIS DRAWING IS NOT FOR CONSTRUCTION. IT IS MEANT TO REPRESENT A POSSIBLE SPACE CONFIGURATION BASED ON COLORADO HARBOR SPACE PROGRAM.					
2. ARCHITECT IS NOT RESPONSIBLE FOR VERIFICATION OF MECHANICAL AND ELECTRICAL SYSTEMS.					
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION RELATED CONDITIONS AND REPORT DISCREPANCIES TO THE ARCHITECT & OWNER.					
4. EXPECTED FINISHES TO BE COORDINATED WITH OWNER AND ARCHITECT PRIOR TO CONTRACTOR PRICING. ALLOCATE BUILDING STANDARD PRICE PSP ON FINISHES.					
BUILDING AREA					
GROSS BUILDING AREA = 4,942 SF					
BUILDING PROGRAM					
Space Code	Space	Size	Usable Square Feet	Quantity	Total USF @ Opening
1.00 PUBLIC AREA					
1.01	Reception	20' x 20'	400	1	400
2.00 SEMI-PUBLIC AREA					
2.01	Employee Café	20' x 20'	400	1	400
2.02	Medium Conference Room	11' x 11'	121	1	121
2.03	Main Conference Room	14' x 21'-6"	300	1	300
3.00 PRIVATE					
3.01	Six Executive Office	18' x 16'	288	2	576
3.02	Executive Office	14' x 12'	168	6	1008
3.03	Private Office	10' x 12'	120	8	960
3.05	Open Office	6' x 8'	36	15	540
3.06	Phone Booth	5' x 5'	25	1	25
4.00 OFFICE SUPPORT					
4.02	Server Closet	5' x 5'	25	1	25
4.03	Print Alcove	5' x 10'	50	2	100
4.04	General Storage	10' x 10'	100	1	100
4.05	Filing Storage	10' x 10'	100	1	100
4.06	Mail Room	10' x 8'	80	1	80
4.07	Restrooms	20' x 10'	200	2	400
4.11	Outdoor area	TBD			
4.12	Electrical Room	10' x 10'	100	1	100
KEYNOTES					
① CADD READER AT THIS LOCATION					
② CUSTOM BUILT IN RECEPTION DESK					
③ BRANDING SIGNAGE FEATURE					
④ INTERIOR STOREFRONT GLASS SYSTEM					
⑤ SOLID SURFACE COUNTER WITH STORAGE CABINETS BELOW. UPPER CABINETS ABOVE.					
⑥ WALL MOUNTED TV					
⑦ BUILT IN ISLAND WITH SOLID SURFACE COUNTERTOP AND STORAGE BELOW					
⑧ EXTERIOR COVERED PATIO AREA					
⑨ OVERHEAD SOFFIT CONDITION					
⑩ SOLID SURFACE COUNTER WITH ACCENT TILE BACKPLASH					
⑪ FLOOR POWER AT THIS LOCATION					
⑫ ROSE COMPLAINT DRAINING FOUNTAINS					
⑬ EXTERIOR STOREFRONT SYSTEM					
ROOM TAG		LEGEND			
ROOM NAME	PROPOSED FURNITURE LAYOUT				
SPACE CODE	PROPOSED NEW WALLS				

01 | PROPOSED SPACE PLAN

Findings

The request is consistent with the requirements for approval of a Master Plan with Modifications as contained in LDC Section 65.000, per the findings below:

1. The proposed use is consistent with the City's Growth Management Plan.
2. The proposed use is consistent with the purpose and intent of the PD zoning district and all other requirements of the LDC.
3. The proposed use will be compatible with surrounding land uses and the general character of the area.
4. The necessary public facilities will be adequate to serve the proposed use, or will be provided by the applicant as a condition of this approval.

Staff recommends approval of MPL2021-10047 subject to the conditions below.

Conditions of Approval

Land Development

1. **Land Use and Zoning.** Except as provided herein, development of the property shall be consistent with the development standards of the Baldwin Park PD zoning district.
2. **General Code Compliance.** Development of the proposed project should be consistent with the conditions in this report and all codes and ordinances of the City of Orlando, the State of Florida, and all other applicable regulatory agencies. All other applicable state or federal permits must be obtained before commencing development.
3. **Minor modifications.** Zoning variances may be approved pursuant to the procedures set forth in Part 2J Chapter 65, Orlando City Code. Additionally, recognizing that development plans can change in small ways between the planning and permitting stages of development, the planning official may approve up to a 10% modification of any applicable numerical development standard if the planning official finds that the proposed modification is consistent with the applicable goals, objectives, and policies of the GMP, is compatible with nearby existing land uses, would not result in inadequate public facilities, and is otherwise consistent with the public health, safety, and welfare. When approving such a modification of a development standard, the planning official may impose one or more of the conditions of development provided at section 65.334, Orlando City Code, but such condition or conditions must be reasonably calculated to mitigate the identifiable land use impacts of the modified standard.
4. **Regulations Subject to Code.** Except as provided herein, the proposed project is subject to the conditions of this report and all codes and ordinances of the State of Florida, City of Orlando and all other applicable regulatory agencies. All other applicable state or federal permits must also be obtained before commencing development.
5. **Consistency:** Development within the subject property must remain consistent with all exhibits provided within this application subject to the conditions ultimately approved by City Council.
6. **Expiration of the Master Plan.** The applicant must receive a building permit for the work requiring the master plan within two years of the master plan approval. If the applicant does not receive the building permit within two years, then the master plan is no longer valid and the applicant must reapply for a master plan if the applicant wishes to proceed with a development requiring a master plan. If the building permit for the work requiring the master plan expires before a certificate of occupancy or certificate of completion is issued for the work requiring the master plan, then the master plan is no longer valid and the applicant must reapply for a master plan if the applicant wishes to proceed with a development requiring a master plan.
7. As provided by subsection 166.033(5), Florida Statutes, issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. In accordance with subsection 166.033(5), Florida Statutes, it is hereby made a condition of this permit that all other applicable state or federal permits be obtained before commencement of the development.
8. **Maximum Office Square Footage:** The maximum office size is 8956 square feet, as stated in ZON2021-10017. Any request to increase the amount of square footage will require an amendment to the PD to amend the Land Use Program and Entitlements Summary.

Conditions of Approval

Urban Design

1. **Final Architectural Review:** Final site plan; landscape plan; lighting plan; building elevations; building materials and colors; signs are subject to final review and approval by the Baldwin Park Town Planner. Final plans must be reviewed and approved by the Baldwin Park Town Planner prior to building permit review to confirm compliance with all conditions of approval. Any significant changes from the approved plans may be required to go back to the BPTDRC for approval.
2. **Architectural Design and Details:** The proposed design is more modern than generally found in Baldwin Park. Staff has worked with the applicant since the initial design and modifications have been made to give the building certain traditional elements including brick base, brick accents, punched windows and modern interpretation of a cornice. The Town Planner shall continue to work with the applicant to review the window details, and material choice and general detailing prior to submittal to Permitting. If the applicant disagrees with the Baldwin Park Town Planner, the project shall return to the BPTDRC for their review.
3. **Roof parapet:** The roof parapet must be a minimum of 3.5 feet tall and may need to be higher to screen equipment.
4. **Backflow Preventer:** Backflow preventer[s] must be located so as to not be directly visible from the right-of-way and be screened from view where necessary. They must be clearly identified on the final utilities and landscape plans.
5. **Transformer:** Any new transformer areas must be screened with decorative, opaque fencing and gates up to 6-feet in height they must be clearly identified on the final utilities and landscape plans.
6. **Mechanical Equipment:** All ground mounted and rooftop mechanical equipment must be screened from any public ROW as well as from the parking lot to the rear of the building and must meet the standards of the Land Development Code. A screen wall or parapet for rooftop mechanical equipment is required, the screen wall or parapet must be the same height or taller as the installed mechanical equipment height.
7. **Venting:** vents may not extend onto the front or street-side façades of the building.
8. **Landscaping:** All landscaping for the site must meet the General Landscaping Standards (Appendix G in the PD) and be approved by the Town Planner.
9. **Streetscape:** All existing street trees must be protected during construction, and replaced if any damage should occur. All street trees that are removed or damaged in the course of construction must be replaced with new street trees of the same species. The streetscape on the continuation of Halder Lane leading to the parking lot should mirror the streetscape on the south side of the Lane.
10. **Sidewalk Easement:** The patio shall be reduced in size similar to that shown in the rendering so that the patio remains outside the sidewalk easement and continues in a straight line.
11. **Signage:** All commercial signage must be approved by the Baldwin Park Commercial Owners Association.
12. **Pedestrian Connections:** Pedestrian connections from the parking lot along the southern side of the building site must be provided.

Transportation:

The transportation department recommends approval of the proposed office building without further comment or condition.

Solid Waste:

The lot is part of the previously developed area and the solid waste facilities are already in place in the existing parking lot. The following comment was provided by Solid Waste Division: It may not be their responsibility; but this site only has a single enclosure for a garbage dumpster. There needs to be space dedicated for a recycling container.

Police:

The Orlando Police Department has reviewed the plans for a new office building at 927 Lake Baldwin Lane, applying CPTED (Crime Prevention Through Environmental Design) principles. CPTED emphasizes the proper design and effective use of a created environment to reduce crime and enhance the quality of life. There are four overlapping strategies in CPTED that apply to any development: Natural Surveillance, Natural Access Control, Territorial Reinforcement and Target Hardening. Full Police CPTED report and conditions have been emailed to the applicant by the Project Planner.

Contact Information

Land Development

For questions, contact Richard Forbes at richard.forbes@cityoforlando.net

Transportation

For questions, contact Jacques Coulon at jacques.colon@orlando.gov.

Urban Design

For questions, contact Richard Forbes, Baldwin Park Town Planner, at 407-246-3350 or at richard.forbes@cityoforlando.net.

Tree Removal

For questions regarding tree removal or encroachment contact Greg Mallory at condredge.mallory@cityoforlando.net .

Water Reclamation

For questions regarding Water Reclamation, please contact David Breitrick at david.breitrick@cityoforlando.net.

Police

For questions regarding Orlando Police Department plan review, please contact Terrence Miller at 407.246.2454 or terrence.miller@orlando.gov.

Review Process—Next Steps

1. BPTDRC minutes tentatively scheduled for review and approval by City Council on April 25, 2022.
2. Building permits may be submitted following the TDRC recommendation of approval but cannot be approved until the City Council minutes approving the action of the TDRC are published.